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AGENDA

Committee	PLANNING COMMITTEE
Date and Time of Meeting	WEDNESDAY, 18 AUGUST 2021, 1.30 PM
Venue	REMOTE MEETING VIA MS TEAMS
Membership	Councillor K Jones (Chair) Councillors Stubbs, Ahmed, Asghar Ali, Driscoll, Gordon, Hudson, Jacobsen, Jones-Pritchard, Keith Parry, Sattar and Wong

1 Apologies for Absence

2 Declarations of Interest

To be made at the commencement of the agenda item in question, in accordance with the Members Code of Conduct.

3 Minutes

To approve as a correct record the minutes of the meeting held on 16 June and 28 July 2021

4 Petitions

Petitions have been received in relation to the following applications in accordance with Committee Meeting Procedural Rule 14.2. The petitioners have been advised of their right to speak and the applicants/agents of their right to reply:

21/00949/MNR – 19 Ty Glas Avenue, Llanishen, Cardiff

21/01440/MNR – Rear of 37-39A Cathedral Road, Pontcanna, Cardiff

21/0262/DCH – 12 Caegwyn Road, Whitchurch, Cardiff

5 Development Control Applications

a 21/01295/MNR - 76 Coburn Street, Cathays, Cardiff

b 21/00829/MNR - 173 Pwllmelin Road, Fairwater, Cardiff

c 21/00949/MNR - 19 Ty Glas Avnue, Llanishen, Cardiff

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d 21/01440/MNR - Rear of 37-39A Cathedral Road, Pontcanna, Cardiff

e 21/0262/DCH - 12 Caegwyn Road, Whitchurch, Cardiff

f 21/00280/MNR - Land adjacent to Laurel Court, Fairwater, Cardiff

g 21/00770/MNR - Land off Willowbrook Drive, St Mellons, Cardiff

6 Applications decided by Delegated Powers

7 Urgent Items (if any)

8 Date of next meeting

The next meeting of the Planning Committee is to take place on Wednesday 8 September 2021 at 1.30 pm

Davina Fiore

Director Governance & Legal Services

Date: Thursday, 12 August 2021

Contact: Kate Rees, 029 2087 2427, krees@cardiff.gov.uk

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PLANNING COMMITTEE

16 JUNE 2021

Present: Councillor K Jones(Chairperson)
Councillors Stubbs, Ahmed, Asghar Ali, Gordon, Hudson,
Jacobsen, Jones-Pritchard, Keith Parry, Sattar and Wong

45 : APOLOGIES FOR ABSENCE

None

46 : APPOINTMENT OF CHAIRPERSON AND DEPUTY CHAIRPERSON

To note that at the Annual Council Meeting on 27 May 2021, appointed Councillor Keith Jones as Chairperson of this Committee and Councillor Edward Stubbs as the Deputy Chairperson of this Committee.

47 : APPOINTMENT OF COMMITTEE AND TERMS OF REFERENCE

The Annual meeting on 27 May 2021 appointed this Committee with the following Membership and Terms of Reference.

Membership:

Councillors Ahmed, Asghar Ali, Gordon, Hudson, Jacobson, Keith Jones,
JonesPritchard, Keith Parry, Sattar and Stubbs (1 vacancy)

Terms of Reference: Those functions listed in Section A of Schedule 1 of the Local Authorities Executive Arrangements (Function and Responsibilities) (Wales) Regulations 2001 and any amendments thereto and any matters ancillary thereto as defined in Regulation 4 (2) to (6) of the Regulations. Those function listed in paragraphs 1- 12 of Section 1 of Schedule 1 of the Local Authorities Executive Arrangements (Function and Responsibilities) (Wales) Regulations 2001 and any amendments thereto and any matters ancillary thereto as defined in Regulation 4 (2) to (6) of the Regulations.

48 : MINUTES

The minutes of the 19 May 2021 were approved as a correct record and signed by the Chairperson.

49 : DECLARATIONS OF INTEREST

None

50 : PETITIONS

There were no petitions

APPLICATIONS GRANTED

20/02448/MNR – LLANISHEN

GROUNDS OF LLANISHEN RESERVOIR, LISVANE ROAD

Repair and restoration of existing embankment steps, replacement of one set of existing steps, installation of one new set of embankment steps from south-west entrance construction of a footbridge from the first floor of the visitor hub to the embankment, installation of new footpaths along embankment and new vehicle access road from the visitor hub car park to the new slipway

21/00302/MNR – CATHAYS

49 DALTON STREET

Conversion of dwelling into 3no, flats with two storey rear extension, hip to gable roof extension with dormer roof extension.

Subject to an amendment to Condition 3 to read:

Prior to occupation of the flats hereby approved, refuse storage containers shall be provided externally and a screen shall be provided adjacent to the front forecourt enclosure in accordance with drawing numbered P693_L_201, and shall thereafter be retained.

APPLICATIONS GRANTED ON EXECUTION OF A PLANNING OBLIGATION PURSUANT TO SECTION 106 TOWN AND COUNTRY PLANNING ACT 1991:

20/02175/MJR – LLANISHEN

GROUNDS OF LLANISHEN RESERVOIR, LISVANE ROAD

Development of a visitor centre including café/restaurant, boat workshop and associated works, including access, landscaping, footpaths and recreational facilities.

Subject to an amendment to Condition 26 to read:

No development shall commence until a plan has been submitted to and approved in writing by the Local Planning Authority (LPA) detailing the areas within the site where construction works may commence in advance of the written approval of a Green Infrastructure Mitigation Strategy (GIMS). No development shall commence on land outside of the area identified on the approved plan until a GIMS has been submitted to and approved in writing by the LPA. The GIMS shall include the following: (i) Badgers: A plan to demonstrate that no members of the public will be allowed access within 30 metres of a badger sett. Details of the non-badger-proof fencing shall also be submitted for written approval; (ii) Lichens: A survey of the Lichen Communities on the stone pitching of Llanishen Reservoir to provide a baseline against which the

operation and management of the site (post-development) can be monitored; (iii) Glow-Worms: a plan of habitats for Glow-worms together with details for their re-creation and enhancement; (iv) Amphibians: A Risk Assessment Method Statement to ensure protection of amphibians during clearance of all areas of suitable terrestrial amphibian habitat; (v) Reptiles: a plan of habitats for grass snakes and slowworms together with details for their re-creation and enhancement; (vi) SINC Habitats: a plan detailing areas of SINC habitat losses together with details of compensatory habitat provision and a programme for their implementation; (vii) European Protection Species: details of the location, number, model and position of bat roosting features and the location and position of dormice nest boxes. The development shall be carried out in accordance with the approved details prior to beneficial occupation.

Subject to an additional Condition 41 to read:

NESTING BIRDS

1 No removal of hedgerows, trees, scrub or shrubs shall take place between 1st March and 15th August, unless it can be demonstrated to the Local Planning Authority's written satisfaction that there are no birds nesting in the vegetation to be removed immediately (48 hrs) before works commence.

Subject to the following amendments to Conditions:

Amend the relevant parts of Condition 2 (Approved Plans and Documents) as follows: (ii) DCWW 761-01 Feb 2020 – Llanishen and Lisvane Masterplan (xxv) LIS-ARC-XX-070-DR-C-0012 Revision P01 – Access Road Cross Sections – Sheet 1 of 2; (xxvi) LIS-ARC-XX-070-DR-C-0013 Revision P01 – Access Road Cross Sections – Sheet 2 of 2

Subject to the following amendments to Conditions:

Amend Condition 2 to delete references to Woodland Management Plans from the list of approved documents – 2(xviii) and 2(xix) (the agent suggests including this within the LEMP and this is supported); (ii) Condition 2 does not refer to the LEMP as it is not yet an approved document. This document will be submitted and approved under condition 28; 6(iii)

Condition 28 – amendments agreed together with specific reference to the requirement for Woodland Management as underlined above in 2(v) and sub section (i).

Amend Condition 28: Prior to beneficial use, a Landscape Ecological Management Plan (LEMP) for the provision, management and maintenance of the site's landscape and ecological features for the lifetime of the development shall be submitted to and approved by the Local Planning Authority. The LEMP shall be a living document and shall include, but not be limited to, details of: (i) Objectives for management of the site, including the maintenance and enhancement of existing woodland and the features of the SSSIs; (ii) Existing and proposed habitats, landscape, environmental and ecological features; (iii) The baseline condition of the features in (ii), and the expected condition of these features; (iv) Scheduling and timings of activities; (v) Short and long-term management, monitoring and maintenance of new and existing landscape, environmental and ecological features by a suitably qualified ecologist to

deliver and maintain the expected condition; (vi) Replacement measures in the event that any landscape or environmental features die, be removed or become seriously damaged or diseased; (vii) Management and maintenance responsibilities; (viii) Timescales, length of plan, the method to review and update plans (informed by monitoring) at specific intervals as agreed and the adaptive management principles and process to be used under the plan; (ix) A commitment to ongoing monitoring of the SSSI features for the lifetime of the development, with adaptability built in to increase or reduce the intensity of the survey, by agreement under the LEMP, dependant on the results and condition of the SSSI features; (x) A commitment to follow best practice for the fungi monitoring regime (i.e. 5-6 times per year between late August (to catch *Hygrocybe intermedia* and *Entoloma* spp) and early December). DNA studies to be considered as an additional approach; (xi) Monitoring of the impacts of recreation and dog walking on the SSSI i.e. surveys of dog walking and compliance, surveys of soil for nutrient content, undertaken at appropriate timescales; (xii) That in assessing risks from the site uses to the SSSI special interest, the precautionary principle will be used when considering the need for action to safeguard the special interest. (xiii) Actions to be taken if the SSSI is demonstrated to be becoming less favourable; (xiv) A commitment that maintaining the special interest will take precedence over recreation, and recreation will be curtailed if it is necessary. Reason: To ensure the satisfactory long-term management of the site's landscape and ecological features in accordance with Local Development Plan Policies EN5 (Designated Sites) and EN6 (Ecological Networks and Features of Importance for Biodiversity).

Subject to an amendment to paragraph 8.95 to read:

The rights of the occupiers of the site and third parties under the Human Rights Act 1998 have been considered..."

Subject to an amendment to Condition 3 to read:

(Café/Restaurant Opening Hours): With the exception of private group bookings, members of the public shall only be admitted to or allowed to remain in the visitor centre's café/restaurant between the hours of 0800 and 1800 on any day. Any private group bookings shall cease by 2300 hours.

Subject to an amendment to Recommendation 1 to read:

That SUBJECT to a requirement that no decision notice may be issued unless a written authorisation is received from the Welsh Ministers pursuant to its Direction dated 10 June 2021 made under Article 18 of the Town and Country Planning (Development Management Procedure) (Wales) Order 2012: That planning permission be GRANTED subject to relevant parties entering into a binding legal agreement with the Council under the provisions of SECTION 106 of the Town and Country Planning Act 1990, within 6 months of the date of this Resolution unless extended by the Council in writing, in respect of matters detailed in paragraph 9.3 of this report and subject to the following conditions:

Refer also to paragraphs 1.28, 7.14 (vii), and 8.89

52 : APPLICATIONS DECIDED BY DELEGATED POWERS - MAY 2021

Noted

53 : URGENT ITEMS (IF ANY)

There were no urgent items.

54 : DATE OF THE NEXT MEETING - 28 JULY 2021

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PLANNING COMMITTEE

28 JULY 2021

Present: Councillor Stubbs(Chairperson)
Councillors Ahmed, Asghar Ali, Driscoll, Gordon, Hudson,
Jacobsen, Jones-Pritchard, Keith Parry, Sattar and Wong

55 : APOLOGIES FOR ABSENCE

Apologies for absence were received from Councillor Keith Jones.

56 : MINUTES

The approval of the minutes of the meeting on 16 June was deferred until the next meeting of the Committee.

57 : DECLARATIONS OF INTEREST

No declarations of interest were received in accordance with the Members Code of Conduct.

58 : PETITIONS

1. 21/00235/MJR, LAND EITHER SIDE OF RADYR TO PONTYPRIDD RAILWAY LINE AT GELYNIS FARM, TY-NANT ROAD, MORGANSTOWN
2. 21/00236/MJR, LAND EITHER SIDE OF RADYR TO PONTYPRIDD RAILWAY LINE AT GELYNIS FARM, TY-NANT ROAD, MORGANSTOWN
3. 21/00829/MNR, 173 PWLLMELIN ROAD, FAIRWATER

In relation to the petitions above 1. The petitioner spoke and the agent responded. 3. The petitioner spoke and the agent did not respond.

59 : DEVELOPMENT CONTROL APPLICATIONS

APPLICATIONS GRANTED

21/00235/MJR - RADYR

LAND EITHER SIDE OF RADYR TO PONTYPRIDD RAILWAY LINE AT GELYNIS FARM, TY-NANT ROAD, MORGANSTOWN

NEW VEHICULAR AND PEDESTRIAN BRIDGE OVER THE RADYR - PONTYPRIDD RAILWAY LINE AND ASSOCIATED INFRASTRUCTURE AND REMOVAL OF PART OF A RUINED FARM BUILDING

Subject to additional Condition 17 to read:

'The development hereby approved shall be carried out in accordance with the requirements and standards of the "Written Scheme of Investigation for Programme of Archaeological Works at Gelynis Farm" (RSK ADAS Ltd Report no. ART69105-602, dated January 2021).

21/00236/MJR - RADYR

LAND EITHER SIDE OF RADYR TO PONTYPRIDD RAILWAY LINE AT GELYNIS FARM, TY-NANT ROAD, MORGANSTOWN

NEW VEHICULAR AND PEDESTRIAN BRIDGE OVER THE RADYR - PONTYPRIDD RAILWAY LINE AND ASSOCIATED INFRASTRUCTURE AND REMOVAL OF PART OF A RUINED FARM BUILDING WHICH LIES WITHIN THE CURTILAGE OF THE GRADE II* LISTED GELYNIS FARMHOUSE

Subject to additional Condition 6 to read:

'The development hereby approved shall be carried out in accordance with the requirements and standards of the "Written Scheme of Investigation for Programme of Archaeological Works at Gelynis Farm" (RSK ADAS Ltd Report no. ART69105-602, dated January 2021).'

APPLICATIONS REFUSED

82 COBURN STREET, CATHAYS

SINGLE STOREY REAR EXTENSION, DEMOLITION AND REBUILD OF EXISTING FIRST FLOOR EXTENSION, LOFT CONVERSION AND CONSTRUCTION OF REAR DORMER. CHANGE OF USE C3 TO C4 HOUSE IN MULTIPLE OCCUPATION

REASONS:

Refused contrary to officer recommendation. Reasons as agreed in the Committee Meeting: (Contrary to LDP Policies and HMO SPG).

Reasons for refusal below :

1. The use of the property as a C4 House in Multiple Occupation will further exacerbate the unacceptable cumulative adverse impacts on the amenities of the area by virtue of:
 - a higher number of transient residents leading towards less community cohesion and undermining the objectives of securing a sustainable mixed use community, contrary to Policy KP5, KP13 and H5 of the Cardiff Local Development Plan (2006-2016) and advice contained within the Houses in Multiple Occupation Supplementary Planning Guidance (2016).
 - a higher portion of transient residents leading to an increase of cumulative demand on social, community and physical infrastructure, contrary to Policy KP5, KP13 and H5 of the Cardiff Local Development Plan (2006-

2026) and advice contained within the Houses in Multiple Occupation Supplementary Planning Guidance (2016).

2. The use of the property as a C4 House in Multiple Occupation will further exacerbate the negative impacts caused by Houses in Multiple Occupation in respect of crime and anti-social behaviour, contrary to Policy H5 (Sub-Division or Conversion of Residential Properties of the Cardiff Local Development Plan (2006-2016) and the Houses in Multiple Occupation Supplementary Planning Guidance (2016).

APPLICATIONS DEFERRED

21/01295/MNR – CATHAYS

76 COBURN STREET, CATHAYS

SINGLE STOREY REAR EXTENSION, DEMOLITION AND REBUILD OF EXISTING FIRST FLOOR EXTENSION, LOFT CONVERSION AND CONSTRUCTION OF REAR DORMER. CHANGE OF USE C3 TO C4 HOUSE IN MULTIPLE OCCUPATION

REASON:

In order for officers to draft reasons for refusal.

21/00829/MNR -FAIRWATER

173 PWLLMELIN ROAD, FAIRWATER

CHANGE OF USE FROM A2 ESTATE AGENCY TO A3 HOT FOOD TAKEAWAY

REASON:

In order for officers to draft reasons for refusal.

60 : SECTION 257 DIVERSION, TOWN AND COUNTRY PLANNING ACT 1990 FOR PUBLIC RIGHT OF WAY LLANEDEYRN NO.13 FOOTPATH

The Committee was asked to confirm the Legal Order which would allow the footpath to be realigned within the new proposed development.

RESOLVED:

The Planning Committee AGREED to approve the Section 257 Diversion Application to allow the Public Rights of Way Team to instruct Legal Services to process the Legal Order

61 : APPLICATIONS DECIDED BY DELEGATED POWERS

Noted

62 : URGENT ITEMS (IF ANY)

The Planning Committee was advised there was an urgent item and the following reasons were provided:

“The Churchill Way Canal Quarter scheme had been awarded funding by the City Deal Grant Funding, Air Quality Funding and General Capital Funding. The requirement to stop up the adopted highway was confirmed at a late stage. This legal order must be confirmed by the Magistrates Court prior to substantial works being completed on the canal. The scheme was due to start on site in September 2021 otherwise delays and loss of part of the funding may be impacted if there were delays”

RESOLVED:

The Planning Committee AGREED to consider the report.

The Planning Committee was advised that the Cabinet approved the development of Churchill Way to pedestrianise the area and reopen the dock feeder canal. This would require a Section 116 stopping up of the adopted highway along the opening of the dock feeder canal. Legal Services administer the Section 116 legal order process and the case presented at Magistrate Court to determine.

RESOLVED:

The Planning Committee AGREED to approve making a Section 116 Stopping Up application to the Magistrates Court to stop up the area of highway shown coloured blue on the attached map referenced Churchill Way Stopping Up Map.

63 : DATE OF THE NEXT MEETING - 18 AUGUST 2021

The date of the next meeting of the Committee is on Wednesday 18 August 2021 at 1.30 pm via MS Teams

The meeting terminated at 6.10 pm

LOCAL MEMBER OBJECTION

COMMITTEE DATE: 18/08/2021

APPLICATION No. **21/01295/MNR** APPLICATION DATE: 20/05/2021ED: **CATHAYS**

APP: TYPE: Full Planning Permission

APPLICANT: Mr Winter

LOCATION: 76 COBURN STREET, CATHAYS, CARDIFF, CF24 4BT

PROPOSAL: SINGLE STOREY REAR EXTENSION, DEMOLITION AND REBUILD OF EXISTING FIRST FLOOR EXTENSION, LOFT CONVERSION AND CONSTRUCTION OF REAR DORMER. CHANGE OF USE C3 TO C4 HOUSE IN MULTIPLE OCCUPATION

RECOMMENDATION 1 : That planning permission be **GRANTED** subject to the following conditions :

1. C01 Statutory Time Limit
2. The development shall be carried in accordance with the following approved plans:
 - D0518339-76COB-L01 Revision B
 - D0518339-76COB-L02

Reason: To ensure satisfactory completion of the development and for the avoidance of doubt in line with the aims of Planning Policy Wales to promote an efficient planning system.

3. Prior to the beneficial use of the property as a C4 HMO 6 undercover and secured cycle parking spaces, as indicated on the submitted plans shall be provided within the curtilage of the property and shall thereafter be retained and maintained for as long as the use hereby permitted remains in existence.

Reason: To ensure that secure cycle parking facilities are provided to encourage other modes of transport over the private car in accordance with Policy T5 of the Cardiff Local Development Plan 2006-2026.

4. Prior to the beneficial use of the property as C4 HMO the refuse storage area, as indicated on the approved site layout plan, shall be provided within the curtilage of the property. The refuse storage area shall thereafter be retained and maintained for as long as the use hereby permitted remains in existence.

Reason: To secure an orderly form of development and to protect the amenities of the area in accordance with Policy W2 of the Cardiff Local

Development Plan 2006-2026.

5. The external surfaces of the rear dormer hereby permitted shall match the materials used on the roof of the existing property.
Reason: To ensure the external materials harmonise with the existing building in the interests of the visual amenity of the area in accordance with Policy KP5 of the Cardiff Local Development Plan 2006-2026.
6. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (Amendment) (Wales) Order 2013 (or any Order amending, revoking or re-enacting that Order) no windows shall be inserted the side elevation of the extension hereby approved which faces 74 Coburn Street.
Reason: To ensure that the privacy of adjoining occupiers is protected in accordance with Policy KP5 of the Cardiff Local Development Plan 2006-2026.

RECOMMENDATION 2 The applicant be advised that the property may now be licensable under Part 2 of the Housing Act 2004 and in this respect they should contact Shared Regulatory Services on 0300 123 6696 to confirm if a license is required.

RECOMMENDATION 3: That the applicant be advised that no work should take place on or over the neighbour's land without the neighbour's express consent and this planning approval gives no such rights to undertake works on land outside the applicant's ownership.

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

- 1.1 This application seeks planning permission to change the use of the property into a 6 bedroom C4 HMO. In order to facilitate the change of use the existing rear annex is to be demolished and rebuilt together with the inclusion of a ground floor rear extension. A small dormer loft extension is also proposed. The submitted drawings/details provide information regarding the principal matters for consideration as set out in the relevant Supplementary Planning Guidance.
- 1.2 Internally the property accommodates two bedrooms, a kitchen and a lounge on the ground floor; three bedrooms and two shower rooms on the first floor and one bedroom in the converted roofspace.
- 1.3 Externally a rear amenity area of 25 square metres will be provided excluding the area shown for waste storage and cycle storage.

2. **DESCRIPTION OF SITE**

- 2.1 The site comprises a two storey property located within a terrace of two storey properties within the Cathays Ward of Cardiff. The lawful use of the property is as a C3 residential dwelling.

3. **RELEVANT SITE HISTORY**

None

4. **POLICY FRAMEWORK**

- 4.1 The site lies within a residential area as defined by the proposals map of the Cardiff Local Development Plan 2016.

Relevant National Planning Guidance:

Planning Policy Wales (2021)
Future Wales: The National Plan 2040 (2021)
Planning Policy Wales TAN 11: Noise
Planning Policy Wales TAN 12: Design
Planning Policy Wales TAN 15: Development and Flood Risk
Planning Policy Wales TAN 21: Waste

Relevant Cardiff Local Development Plan Policies:

Policy KP3(B): Settlement Boundaries
Policy KP5: Good Quality and Sustainable Design
Policy KP8: Sustainable Transport
Policy KP13: Responding to Evidenced Social Needs
Policy KP15: Climate Change
Policy KP16: Green Infrastructure
Policy EN10: Water Sensitive Design
Policy EN13: Air, Noise, Light Pollution and Contaminated Land
Policy H5: Sub-Division or Conversion of Residential Properties
Policy T5: Managing Transport Impacts
Policy C3: Community Safety/Creating Safe Environments
Policy W2: Provision for Waste Management Facilities in Development

Relevant Supplementary Planning Guidance:

Waste Collection and Storage Facilities (2016)
Houses in Multiple Occupation (2016)
Managing Transportation Impacts (Incorporating Parking Standards) (2018)
Residential Extensions and Alterations (2017)
Green Infrastructure (2017)

5. **INTERNAL CONSULTEE RESPONSES**

- 5.1 Waste Management have been consulted and have advised that the proposed area for the storage of waste and recycling has been noted and is acceptable.

The property will require the following for recycling and waste collections:

- Bespoke bags equivalent to 360L for general waste (up to 6 per fortnight)

- 2 x 25 litre kerbside caddy for food waste
- Green bags for mixed recycling (equivalent to 240 litres)

The storage of which must be sensitively integrated into the design.

Refuse storage, once implemented, must be retained for future use.

- 5.2 Traffic and Transportation have been consulted and have advised that no off street parking is presently provided and this will remain unchanged. They have also requested a condition be imposed which prevents occupiers (other than disabled persons) from applying for a parking permit.

With respect to cycle parking facilities ideally they would prefer for all of the spaces to be provided horizontally.

6. **EXTERNAL CONSULTEE RESPONSES**

- 6.1 South Wales Police have been consulted and have not commented on this planning application.

7. **REPRESENTATIONS**

- 7.1 Neighbours have been consulted. An objection has been received from the occupier of 89 Rhymney Street and 80 Coburn Street. A summary of the objections are as follows:

- An increase in anti-social behaviour due to the increase in HMO's';
- An increase in parking making it difficult for residents to find a parking space;
- There are already too many HMO's within the vicinity (approx. 75%);
- The negative impact on the adjoining neighbours;
- The use of the property will further exacerbate the unacceptable cumulative adverse impacts on the amenity of the area by virtue of a higher number of transient residents, less community cohesion, greater pressures placed upon the social, community and physical infrastructure.

- 7.2 An objection has also been received from Councillors Merry, Weaver and Mackie who advise the following:

I am writing on behalf of myself, Cllr Mackie and Cllr Weaver to object to this planning application.

Firstly we believe the extension is overly large leaving the bare minimum of amenity space of 25.1 metre squared coming between five metres of the rear boundary and longer than the adjoining properties. Each part of the design is about maximising out the profit for the landlord not the comfort of tenants or the surrounding properties – dividing existing bedrooms, dividing the bathroom for two showers, squeezing part of the bike parking into the hall so that the amenity area can just reach the bare minimum. On a personal level I am deeply saddened that a landlord who has acquired so many properties in Cathays has shown such

lack of concern for the area.

The argument put forward by the applicant is that we are going against our own LDP and allowing our SPG on HMO's to "make policy" and that it is about achieving a ban on further HMO's in Cathays through the back door. This is a misrepresentation of our LDP to argue it is essentially permissive – our LDP does recognise that there is a place for HMO's but clearly recognises the cumulative impact of too many within an area. The SPG for HMO's lies down guidelines for the standards expected, for example in terms of amenity space, but then also recognises the cumulative impact of too many HMO's in an area and gives guidance to interpret the policy laid down in the LDP.

Our evidence base about the cumulative impact of HMO's was very clear, as was the similar evidence base gathered by the Welsh Government when they changed planning rules and again the UK government went through a similar process. The impact of too many HMO's in an area are undeniable – waste issues, noise, and the breakdown of communities. Coburn Street has some long standing families who are in despair at seeing the stripping out of the last family homes in the area. In fact one of the families was told by a Cathays landlord that their intention was to buy up every single family home in the street.

I know there has been an argument by a planning inspector on another property that there are so many HMO's within the area that more makes no difference. That shows a complete misunderstanding of streets with a number of family homes in them – further conversions has an even greater impact than the addition of a HMO in a street with few of them. No one wants to be the last family left in a street so each further conversion means that the remaining residents reconsider their own position. It is the permanent residents who report the waste issues, the broken lamp post, the potholes and without them the street scene deteriorates further. They will provide information and support as students move in and out – when waste day is, where they get green bags. When the council put the evidence base together for the planning guidance it should not need to be constantly reiterated.

Anyone knows the issues we face in Cathays with waste and noise. It has been graphically illustrated over the last few weeks in newspaper articles. Recent planning decisions are also stoking local anger and are helping to break down community relations further as residents will publicly state that they believe they are being deliberately driven out – there has been arguments on social media and community WhatsApp groups. We are quite simply at breaking point as landlords constantly seek to max out their profits by fitting more tenants into what were small, modest family homes. Under the Future Generations Act the council has a very clear legal duty to protect our communities and build up cohesive communities.

It is not the case that we don't know the impact of HMO's in an area – we do, and it is recognised too by the Welsh Government and the UK government. We also know that continuing to add to the density of the number of residents living in an area will inevitably cause more waste, noise issues – it is not debateable.

These are also some of the least green streets in Wales – there are no front gardens with the houses straight on to the street, no trees, and the loss of even more outdoor space in the rear gardens just increases pressure further. This is important for all residents, students and non-student, tenant of home owner – there is a benefit to everyone of being part of a community but you need a number of permanent residents to maintain it. Please don't undermine our own policy on HMO's and allow our communities to be weakened further

- 7.3 A further objection has also been received from Councillors Merry, Weaver and Mackie

Further to our previous objection to these two planning applications we would like to add additional information in the form of a recent appeal for 54 Bedford Street where the planning inspector stated the following:

“The prevalence of drawn curtains in ground floor front windows suggested a relatively high incidence of HMOs on Bedford Street, and I saw evidence of problems commonly associated with clusters of HMOs, including a notable amount of litter in places.”

“In short, my site observations corroborate the parties' statistics regarding the local prevalence of HMOs, and I saw nothing to refute the SPG's advice that the incidence of HMOs in the vicinity of the appeal site has passed a tipping point whereby its character and amenity may be adversely affected by further conversions of single family dwellings to HMOs.”

The planning inspector accepted the issues associated with too many HMO's within an area and as attention has previously been focussed on judgements where the inspector has ruled in a contrary fashion the judgement on the Bedford Street application seems relevant.

8. **ANALYSIS**

- 8.1 This application seeks planning permission to convert the property into a six bedroom C4 HMO together with the demolition and rebuilding of the rear annex, a ground floor rear extension and a dormer roof extension. As Use Class C4 allows for tenanted living accommodation occupied by between three and six people, who are not related and who share one or more basic amenities as their only or main residence, the main issue for this application is the impact the change of use will have on the character of the area, the community and the living conditions of future occupiers of the property together.
- 8.2 **Policy Considerations** - In respect of the conversion of the property to C4 HMO Policy H5 of the adopted LDP is considered relevant. Further guidance can also be found in the adopted HMO SPG.
- 8.3 Policy H5 of the LDP is considered to be a prescriptive policy whereby as long as the relevant criteria is met there is unlikely to be any objection to such proposals. It advises that:

“Proposals for any conversion to flats or Houses in Multiple Occupation will be permitted where:

i. The property is of a size whereby the layout, room sizes, range of facilities and external amenity space of the resulting property would ensure an adequate standard of residential amenity for future occupiers.

ii. There would be no material harm to the amenity of existing, nearby residents by virtue of general disturbance, noise or overlooking.

iii. The cumulative impact of such conversions will not adversely affect the amenity and/or the character of the area.

iv. Does not have an adverse effect on local parking provision.”

- 8.4 The approved Supplementary Planning Guidance on HMO's further expands on this Policy and aims to provide background information on, and provide a rationale for how the Council will assess applications for planning permission to create new C4 and *Sui Generis* HMOs. It aims to identify the threshold at which it is deemed that the concentration of HMOs in an area has reached a level considered to adversely impact upon the community. It is recognised that HMOs can provide an important source of housing and it is recognised that demographic change has driven many of the changes that have seen traditional family homes become HMOs. HMOs are a popular accommodation source for many groups, including students, young professionals, migrant workers and often people on lower incomes.

However, concentrations of HMOs clustered in small geographical areas can detract from the character of the area and actively contribute towards a number of perceived problems, including, but not limited to:

- Increased population density, leading to greater demand for infrastructure, such as waste collections and on-street parking.
- Higher proportion of transient residents, potentially leading to less community cohesion, undermining existing community facilities
- Areas of higher HMO concentrations becoming less popular with local residents, with many properties taken out of the owner-occupier market.
- A proliferation of properties vacant at certain points of the year
- Subsequent impact on crime, local centre viability, as a result of the number of properties temporarily vacant for long periods.

It is considered that this may conflict with policy KP13 of the LDP which aims to improve the quality of life for all.

Having identified some of the issues caused by HMOs the Council considered it was necessary to determine a threshold at which new HMOs may cause harm to a local area. This threshold will resist further HMOs in communities that already have a concentration above this limit, while also controlling the growth of HMOs in communities below this threshold. A two-tier threshold will therefore be applied to determine when an area has reached the point at which further HMOs would cause harm. In Cathays and Plasnewydd the figure of 20% is to be applied and in all other wards, the figure of 10% is to be applied.

This means that within Cathays or Plasnewydd, if more than 20% of the dwellings

within a 50m radius of the proposed HMO are already established HMOs (i.e. either C4 or sui generis in Planning terms) then this development would be considered unacceptable. In other wards the figure would be 10%.

Having regard to the “cumulative impact” of such conversions in respect of this application, an analysis has been made on the extent of HMO’s (including those defined as such under Sections 254 to 259 of the Housing Act 2004) against the threshold limits identified above. As the application site is located within the Cathays Ward of Cardiff a 20% threshold limit will be relevant. There are 48 properties (including flats which are also classed as residential accommodation) within a 50m radius of the application site of which 33 are registered as HMO’s which equates to 69%. As this exceeds the 20% threshold then it is considered that the proposal would trigger the active consideration of negative cumulative impact consequences.

However, it should be noted that with such a large percentage of HMO’s within the area, it is considered that the character of the area is now primarily HMO’s. Criterion iii of Policy H5 states “*The cumulative impact of such conversions will not adversely affect the amenity and/or the character of the area.*” If the character of the area is now considered to be HMO’s then this must surely be a key consideration. It should also be noted that 3 appeals in Coburn Street (13, 15 and 48) were recently allowed on appeal against the Council’s refusal to grant planning permission to convert these properties from C3 residential dwellings into C4 HMO’s. An award of costs was also made against the Council in respect of two of these applications. In total the Council has lost 20 of the 25 appeals against the conversion of properties into HMO’s with costs being awarded on 9 occasions on the basis that the Council’s decision was unreasonable.

In respect of cumulative impact generally where the appeals have been allowed the percentage figure has been circa 63% or higher. The Planning Inspectorate who processed the appeals have considered that in allowing appeals in higher density areas such use is an inherent feature of the area and additional development of this nature would have no adverse impacts.

The Council must give due consideration to the significant number of appeal decisions in respect of the matter of cumulative impact and its effect upon the amenity and/or character of the area. Failure to do so would be improper and may ultimately result in increasing cases of the award of costs against the Council where appeals are allowed. In this instance taking into account the current cumulative impact of 69% and the recent planning appeal decisions which must form a material consideration it is considered that notwithstanding the guidance set out in the HMO SPG a refusal on Policy grounds where the density of HMO’s exceeds 65% cannot be justified.

- 8.5 **Room Sizes** – The Cardiff HMO Licensing Fire & Safety Standards (updated in 2014) sets standards in terms of amenity, space standards and facilities which must be adhered to in order to obtain a License from the Council. From a planning perspective, paragraph 6.1.1 of the adopted HMO SPG identifies that this would be the minimum that would be expected to be achieved for all applications for both C4 HMO’s and larger sui generis HMO’s. Having had

regard to this criteria the submitted plans indicate that these standards would be met.

- 8.6 **Waste** – Policy W2 of the Cardiff Local Development Plan seeks to ensure that adequate provision is made for waste management facilities within new developments, in order to aid the Council in meeting the challenging waste recycling targets set by European and National targets. Facilities provided should be secure, unobtrusive and easily assessable.

The adopted Waste Collection and Storage Facilities SPG supplements policies adopted in the LDP relating to the provision of waste management facilities in new development. Paragraph 4.12 of the approved SPG on Waste Collection and Storage Facilities advises that for HMO's the recommended bin allocation for between 6 & 8 residents is as follows :-

1 x 240L bin for general waste
1 x 240L bin for garden waste (if required)
2 x 25L bins for food waste
Green bags for recycling.

Details of waste provision have been submitted as part of this application. Waste Management have confirmed that the submitted details are acceptable and condition 4 has been imposed accordingly.

- 8.7 **Transportation** – Policy KP8 of the LDP seeks to reduce travel demand and dependence on the car. It identifies that to accommodate the planned growth levels predicted for the city, existing and future residents will need to be far less reliant on the private car and seeks to ensure that more everyday journeys are undertaken by sustainable modes of transport. Policy T5 of the LDP also identifies that all new development for which planning permission is required will contribute to reducing reliance on the private car, in line with national planning policies and the strategic transport objectives of the LDP.

The creation of a HMO in this sustainable location is considered to fundamentally accord with the principles of sustainable design, locating places to live within walking distance of local amenities, public transport links and places of work. It would therefore intrinsically accord with the principles of sustainable transport and the promotion of a 50/50 modal split, as promoted by Policy KP8, as occupiers would not be reliant upon the private car as a mode of transport. The creation of bicycle parking spaces for occupiers of dwellings is considered an essential element in promoting sustainability and achieving the modal split. The Managing Transport Impacts (Incorporating Parking Standards) (2018) SPG identifies that a C4 HMO will require a minimum of 1 cycle parking space per bedroom. As the proposal is for a 6 bedroom HMO then 6 cycle parking spaces will be required.

In respect of cycle parking the applicant has submitted details showing the provision of 6 undercover and secure cycle parking spaces. 3 are to be provided vertically in the hallway and 3 are to be provided horizontally within the rear garden. Whilst it is noted that only 50% of the cycle spaces to be provided are

horizontal it is considered that it would not be feasible to have 100% horizontal cycle parking spaces in this instance without compromising the internal layout and the level of accommodation provided. The spaces provided are therefore considered acceptable and condition 3 has been imposed accordingly.

In respect of car parking the Managing Transport Impacts (Incorporating Parking Standards) (2018) SPG identifies that a C4 HMO will require between zero and one off street car parking space to be policy compliant. The application does not propose any off street car parking spaces which is in accordance with the aims and objectives of both the LDP and SPG in seeking to reduce dependence on the private motor vehicle.

- 8.8 **Amenity Space** – Criterion i) of Policy H5 of the LDP advises that planning permission will be granted where “*The property is of a size whereby the ...external amenity space of the resulting property would ensure an adequate standard of residential amenity for future occupiers.*” This is further reinforced by the HMO SPG which advises that amenity space is important in retaining a quality of life for people living within the dwelling. Paragraph 6.3.2 of the SPG states “*The City of Cardiff Council has typically used the figure of 25m² as the minimum expected external useable amenity space for C3 dwellings, i.e. for those dwellings up to 6 persons. This level should also apply to C4 properties. Each additional person would be expected to have 2.5m². As such, for example, the minimum expected for a 7 bed HMO would be 27.5m² of external amenity space. Each additional person should result in a corresponding increase of 2.5m². Useable amenity space is considered to be at least 1.4m wide, enabling storage and access.*”

In respect of amenity space as the application seeks permission for to change the use of the property to a C4 HMO then 25 square metres will be required. Having undertaken an assessment of the property a private rear amenity space of approximately 25 square metres will be available for occupiers to use in addition to provision for bin and cycle storage facilities. As the minimum amenity space requirement as specified in the HMO SPG will be 25 square metres the proposal is therefore considered acceptable when considered against the HMO SPG.

- 8.9 **Rebuilding rear annex and proposed ground floor rear extension** – The rebuilding of the rear annex will be no bigger than that which exists already and is acceptable. In respect of the ground floor rear extension, which is approximately 4.5m in length, this is also considered acceptable in regards to it scale and design and will provide a subservient addition to the dwelling. It will also provide for a better internal living arrangement for future occupiers. It is not considered that the ground floor extension will result in any undue overlooking and will not reduce the size of the rear garden to such an extent that it will be unusable. It should also be noted that an extension of 4m in length in this location would be Permitted Development and would not require the benefit of planning permission.
- 8.10 **Rear dormer roof extension** – The dormer is to be set up the roof slope and finished in hanging slate to match the existing roof covering in line with advice contained within the Residential Extensions and Alterations SPG. It should also be noted that a dormer of this size could presently be built using existing Permitted

Development rights and did not therefore have to be included in this planning application.

8.11 Objections – In respect of the objections the following should be noted:

Anti-social behaviour – This would be a matter for the Police or the Noise Pollution Section of Share Regulatory Services to deal with;

Increase in parking demands – This is covered in 8.7 of this report;

There are already too many HMO's in the vicinity – This is covered in paragraphs 8.2 - 8.4 of this report;

Increase in cumulative impact - This is covered in paragraphs 8.2 - 8.4 of this report;

Size of amenity space – The amenity space meets with the minimum size of 25 sq metres as per the HMO SPG;

Appeal decisions – The comment in respect of 54 Bedford Street is noted. However in this instance the threshold was 27%. The Planning Inspector who considered the appeal advised “The appellant estimates the current proportion of HMOs within 50m of the appeal site as being 23.8%, against the Council's estimate of 27%. Both evidently exceed the threshold, but not to such an extent that HMOs have become the dominant form of housing in the immediate area.” In this instance the threshold is 69%.

9. OTHER CONSIDERATIONS

9.1 Crime and Disorder Act 1998 – Section 17(1) of the Crime and Disorder Act 1998 imposes duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.

9.2 Equality Act 2010 – The Equality Act 2010 identifies a number of ‘protected characteristics’, namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. The Council's duty under the above Act has been given due consideration in the determination of this application. It is considered that the proposed development does not have any significant implications for, or effect on, persons who share a protected characteristic.

9.3 Well-Being of Future Generations Act 2016 – Section 3 of this Act imposes a duty on public bodies to carry out sustainable development in accordance with the sustainable development principle to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (Section 5). This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable impact upon the achievement of wellbeing objectives as a result of the recommended decision.

10. RECOMMENDATION

- 10.1 The Council is mindful of the current climate with respect to the amount of HMO's within the City and that there are concerns that a proliferation of such uses can undermine the character of an area to the detriment of local residents.

In respect of this application it should be noted that the Courts have identified the importance of consistent decision-making and that previous appeal decisions are therefore a material planning consideration. In light of this and the fact that there is a high percentage of HMO's within the vicinity (69% of properties within a 50m radius of the application site are registered HMO's) the Council is satisfied that the proposal complies with Policy H5 of the Cardiff Local Development Plan 2026-2026 and advice contained within the HMO's Supplementary Planning Guidance as mentioned previously in this report.

Having taken all of the relevant factors into consideration it is concluded that in this particular instance there are no grounds to justify a refusal of this application and it is therefore recommended that planning permission be granted, subject to conditions.

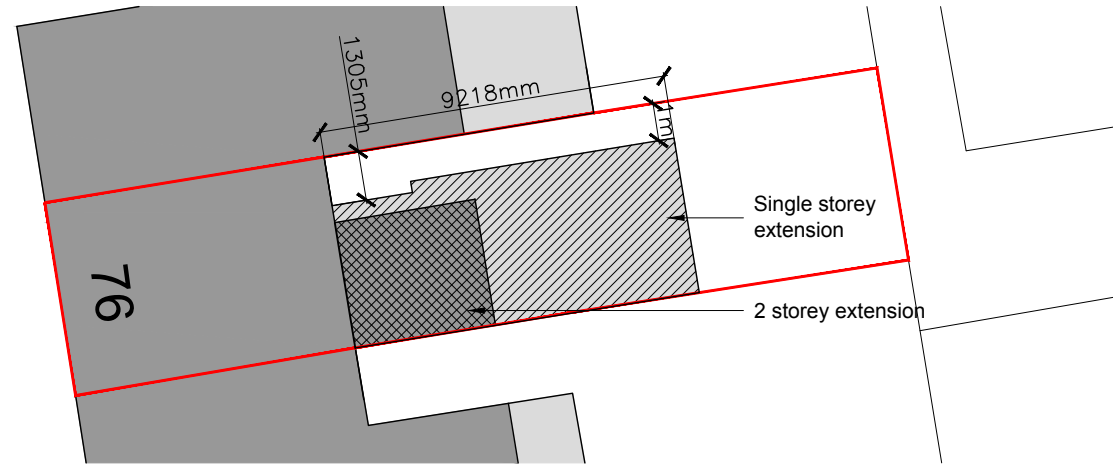
11. **ALTERNATIVE RECOMMENDATION**

- 11.1 This application was considered at 28th July 2021 Planning Committee where it was resolved to defer the application to the next meeting of Planning Committee for reasons for refusal. If members remain minded to refuse the application the following reasons are suggested :

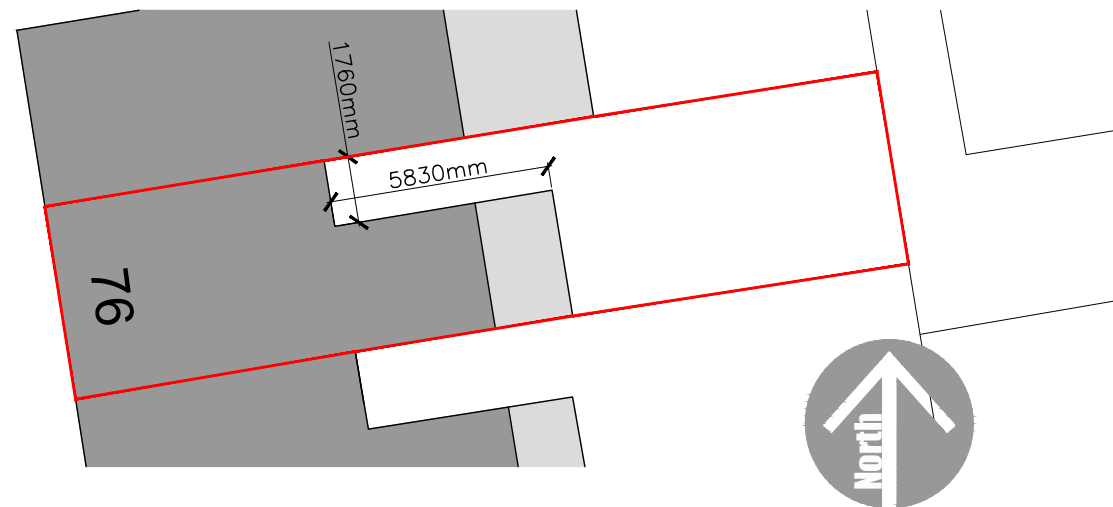
1. The use of the property as a C4 House in Multiple Occupation has the potential to further exacerbate the unacceptable cumulative adverse impacts on the amenities of the area by virtue of:
 - a higher number of transient residents leading towards less community cohesion and undermining the objectives of securing a sustainable mixed use community, contrary to Policy KP5, KP13 and H5 of the Cardiff Local Development Plan (2006-2026) and advice contained within the Houses in Multiple Occupation Supplementary Planning Guidance (2016) and Planning Policy Wales 11th Edition 2021.
 - a higher portion of transient residents leading to an increase of cumulative demand on social, community and physical infrastructure, contrary to Policy KP5, KP13 and H5 of the Cardiff Local Development Plan (2006-2026) and advice contained within the Houses in Multiple Occupation Supplementary Planning Guidance (2016) and Planning Policy Wales 11th Edition 2021.
2. The use of the property as a C4 House in Multiple Occupation has the potential to further exacerbate the negative impacts caused by Houses in Multiple Occupation in respect of crime and anti-social behaviour, contrary to Policy H5 of the Cardiff Local Development Plan (2006-2026), the Houses in Multiple Occupation Supplementary Planning Guidance (2016) and advice contained within Planning Policy Wales 11th Edition 2021.

3. The use of the property as a C4 HMO will result in an increase in the number of HMO's within the vicinity to the detriment of the existing community affecting its composition, cohesion, character, functionality and its sense of place contrary to Policy H5 of the Cardiff Local Development Plan (2006-2026), the Houses in Multiple Occupation Supplementary Planning Guidance (2016) and advice contained within Planning Policy Wales 11th Edition 2021.

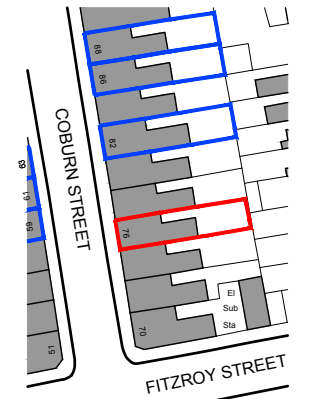
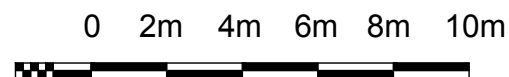
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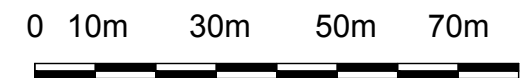
Proposed Site Plan
 scale 1:200



Existing Site Plan
 scale 1:200



Location Plan
 scale 1:1250



REV A 18.05.21
 Cut back extension by 350mm

RIBA  **arb**
 Chartered Practice

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Client:
 MR J WINTER

Location:
 76 COBURN STREET
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 WALES
 CF24 4BT

Project:
 SITE PLANS

Drawn: AM Checked: Date: APR 21

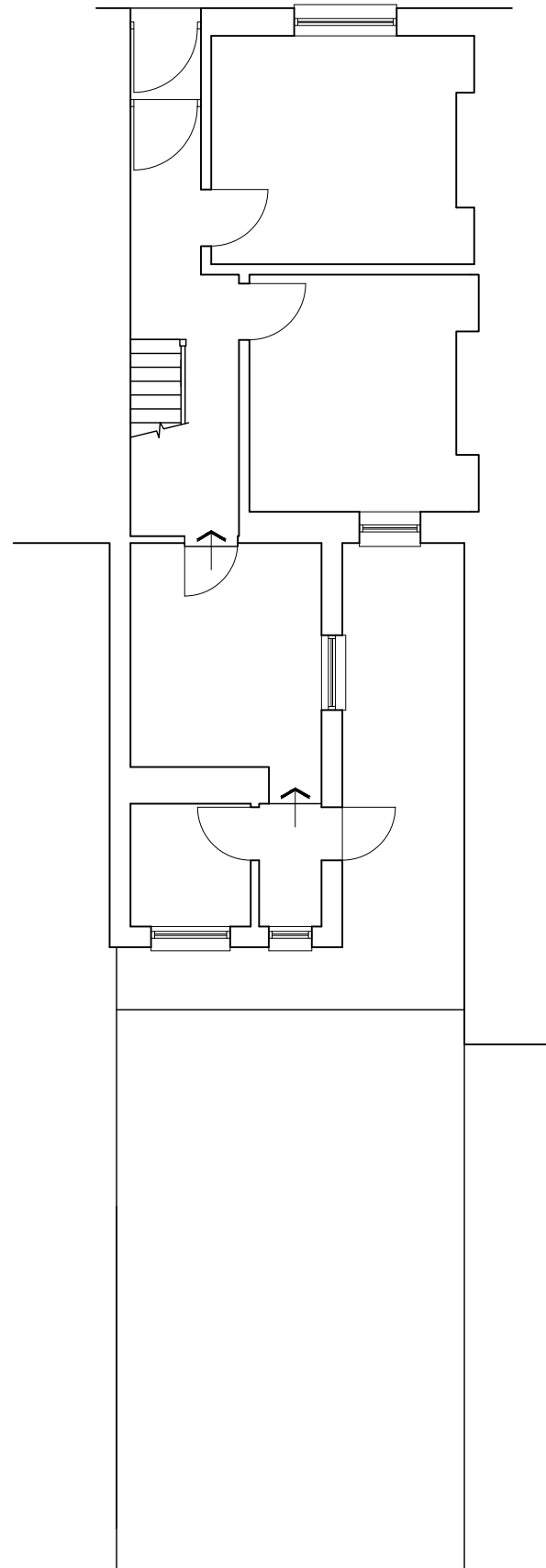
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Revision: **A**

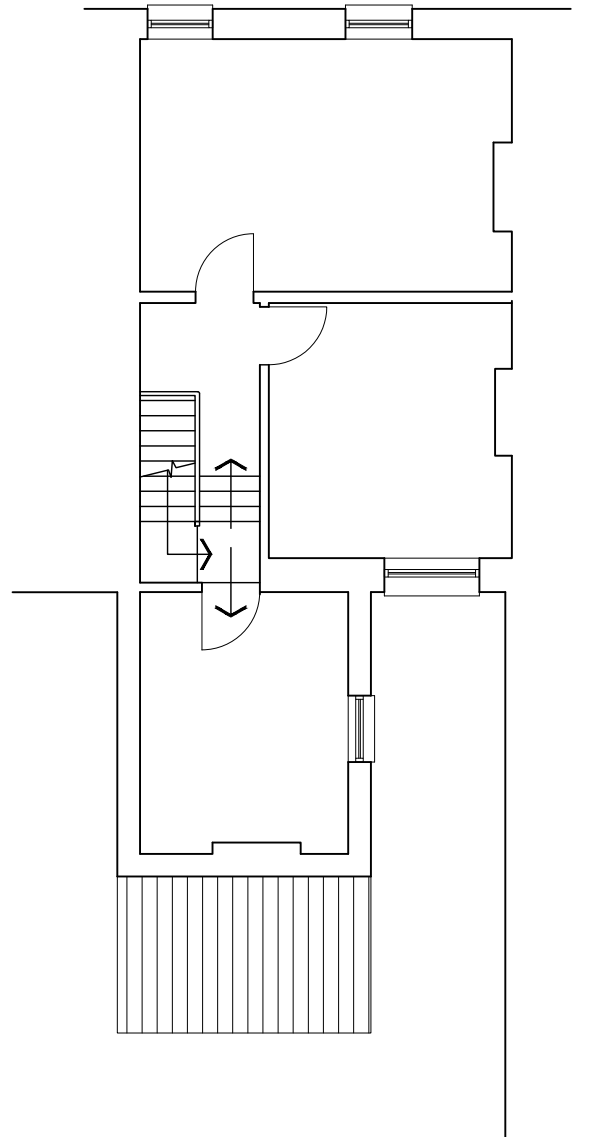
Existing Ground Floor

scale 1:100



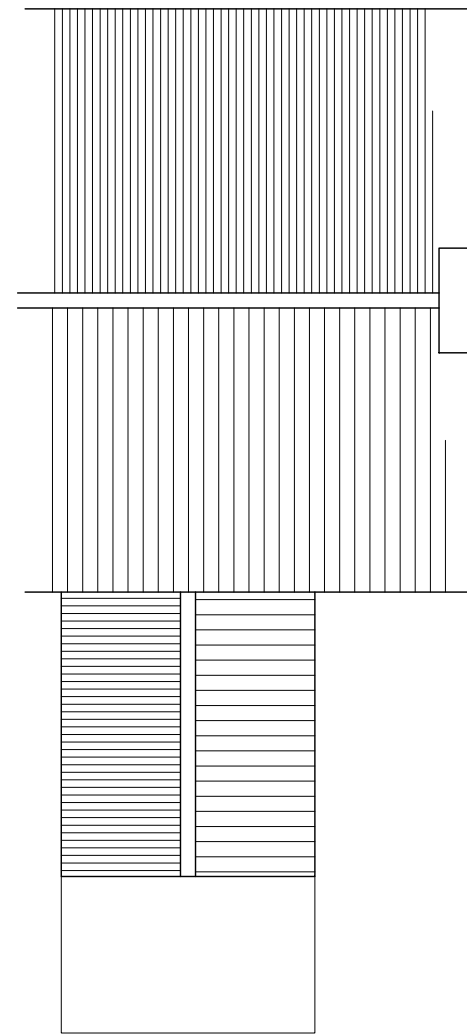
Existing First Floor

scale 1:100



Existing Roof Plan

scale 1:100



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0 1m 2m 3m 4m 5m



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Project:
**PROPOSED
PLANS**

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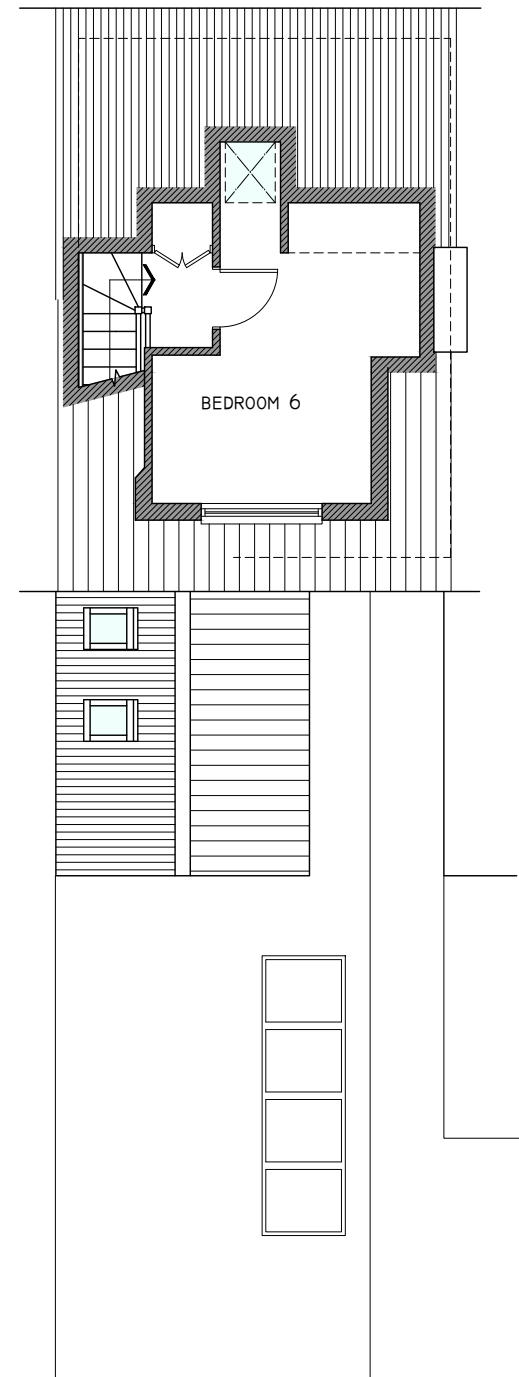
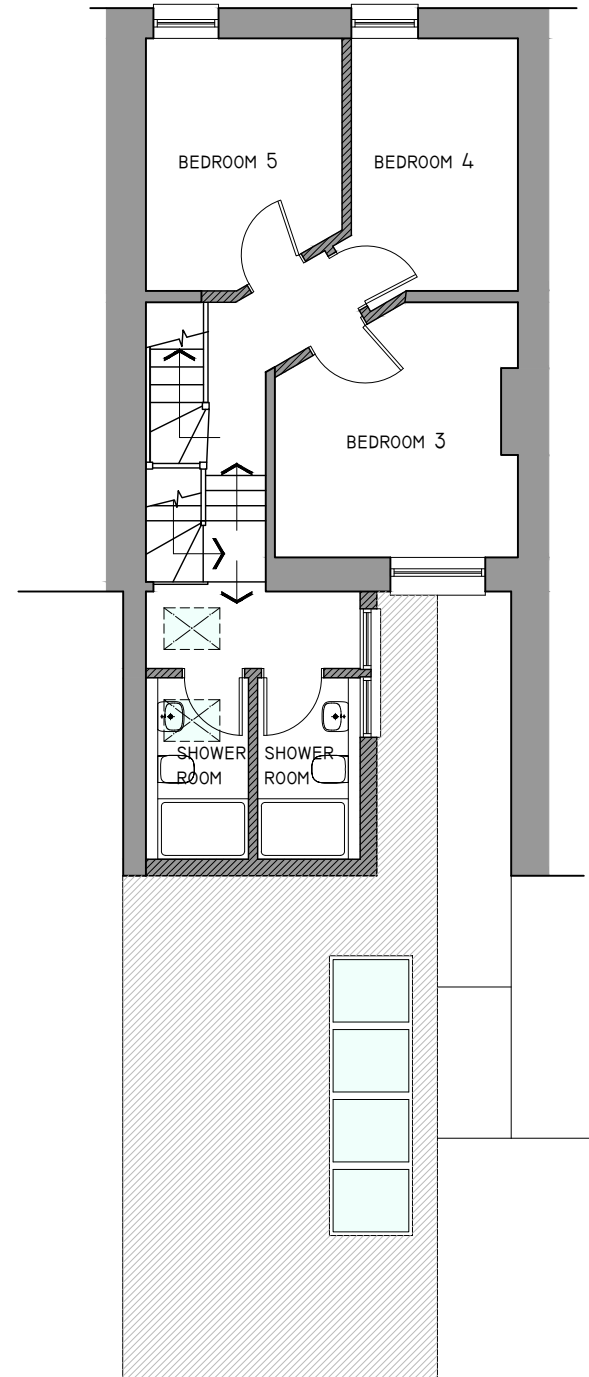
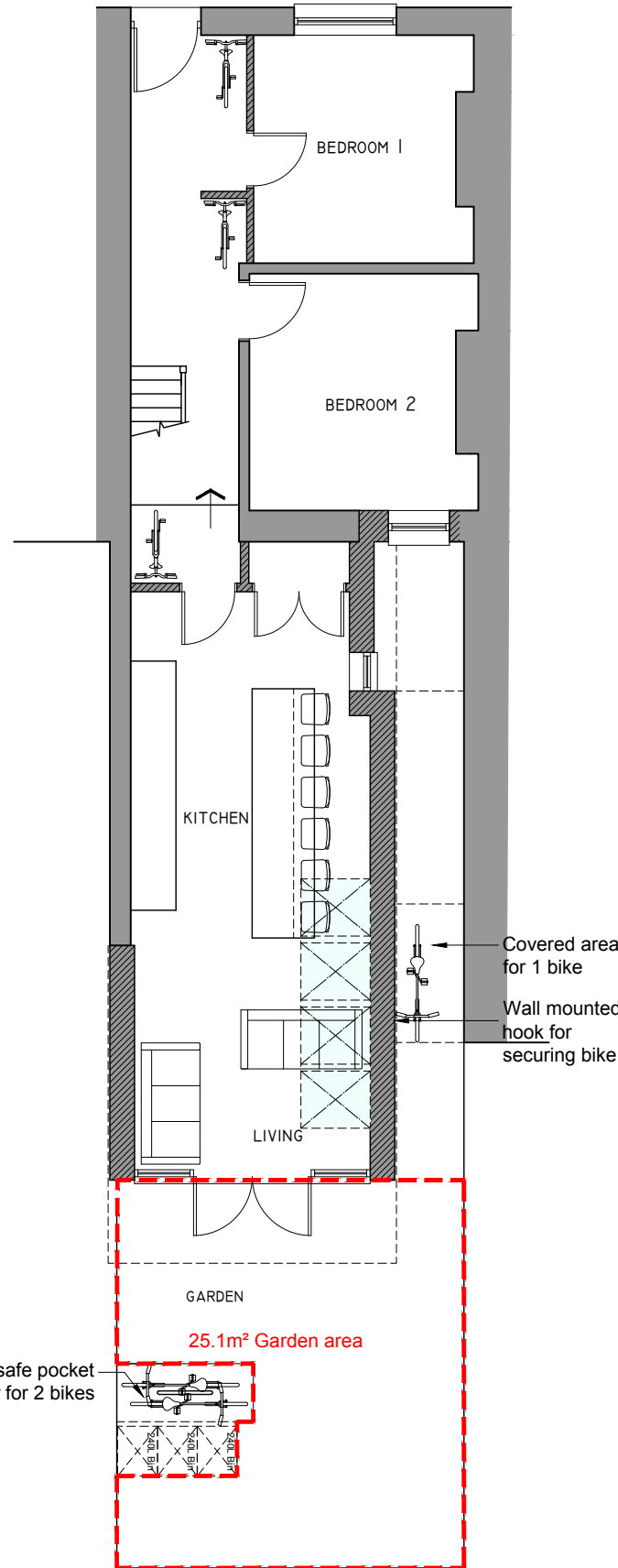
Revision: -

Proposed Ground Floor
scale 1:100

Proposed First Floor
scale 1:100

Proposed Second Floor Plan
scale 1:100

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PedalPro Large Wall Mount Bike Handlebar Hook 1 or 2 number.
Approved method of hanging bike on walls from application 20/00130/MNR

REV A 18.05.21
Addition of bike stand and cut back extension by 350mm
REV B 16.07.21
Addition of bike hook detail

RIBA **arb**
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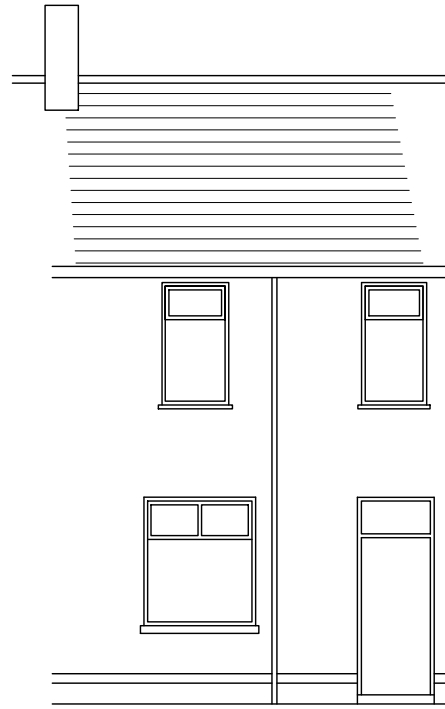
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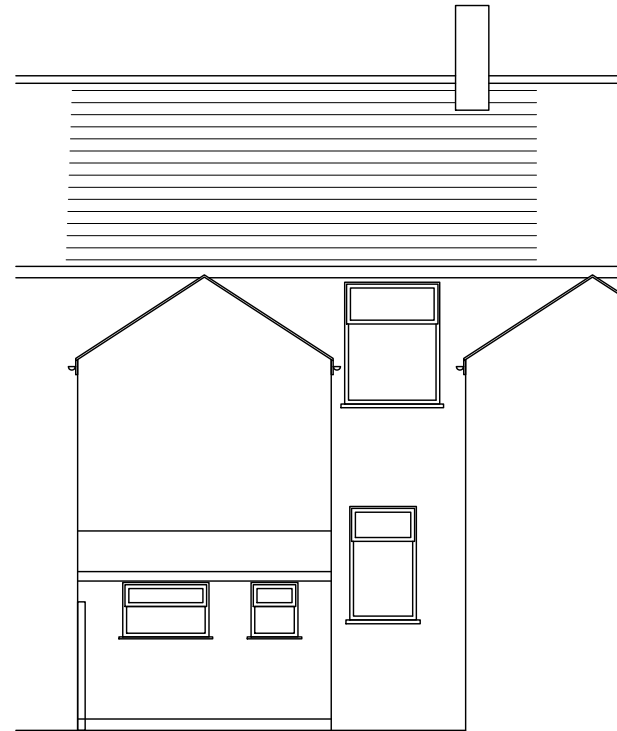
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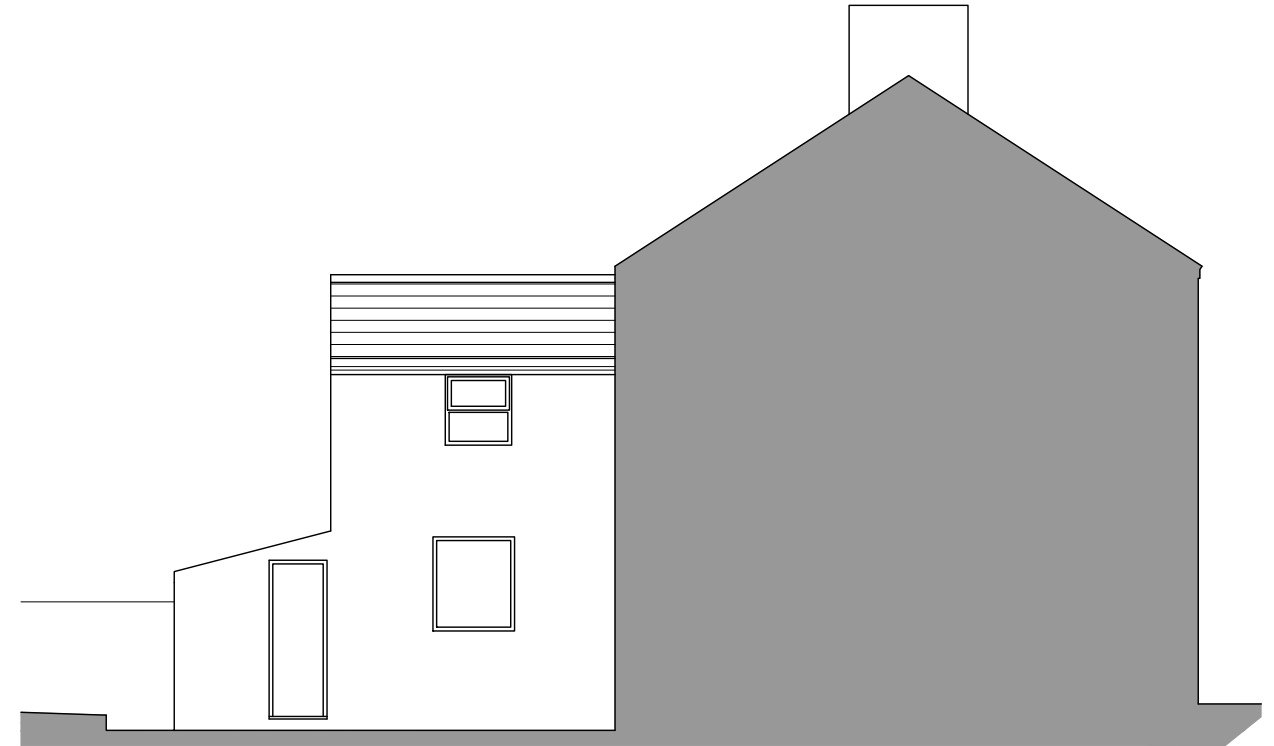




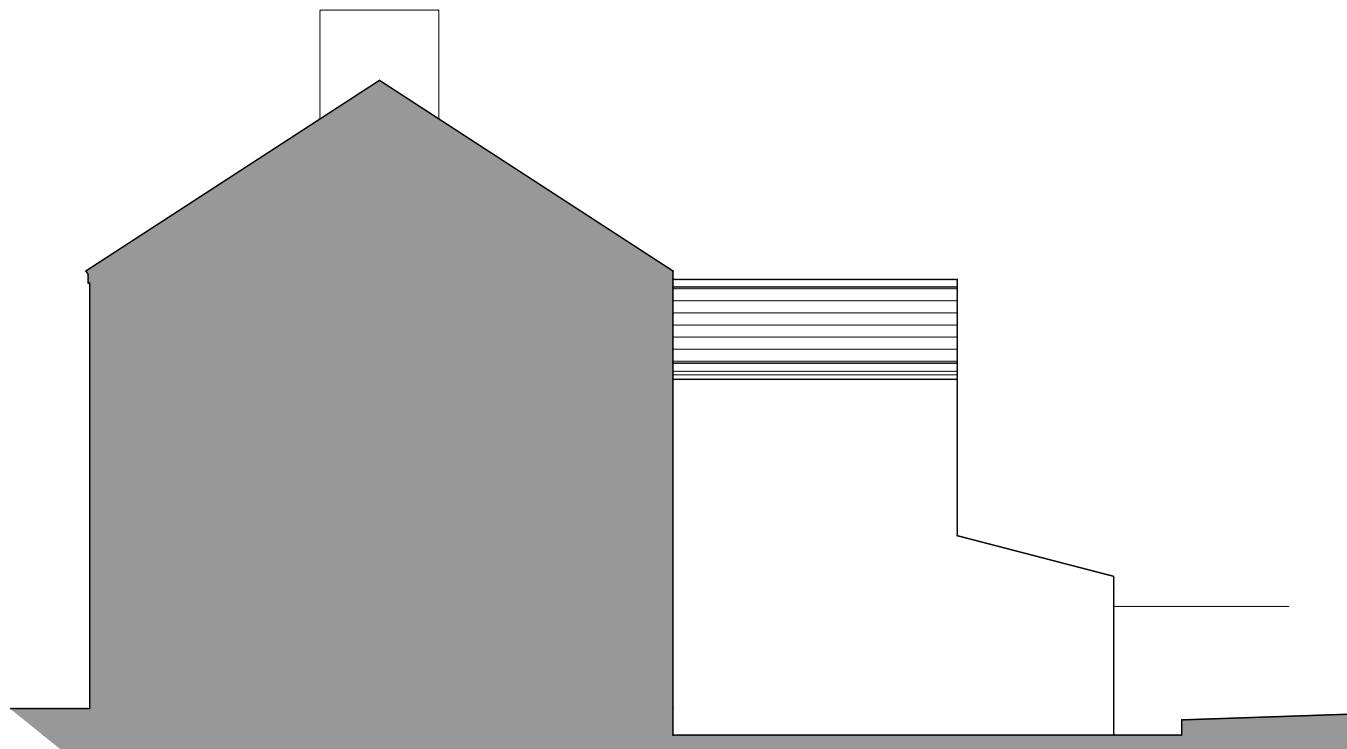
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scale 1:100



Existing Rear Elevation
scale 1:100



Existing Side Elevation
scale 1:100



Existing Side Elevation
scale 1:100

0 1m 2m 3m 4m 5m



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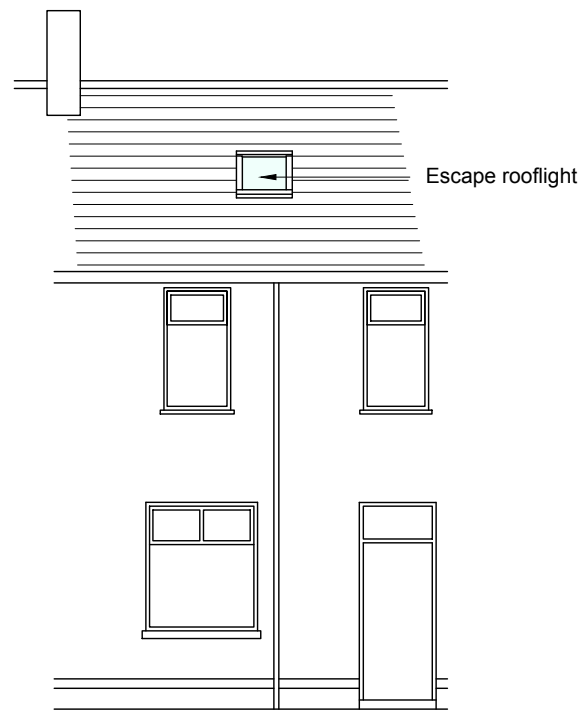
Project:
**PROPOSED
SECTIONS AND ELEVATIONS**

Drawn: AM Checked: Date: APR 21

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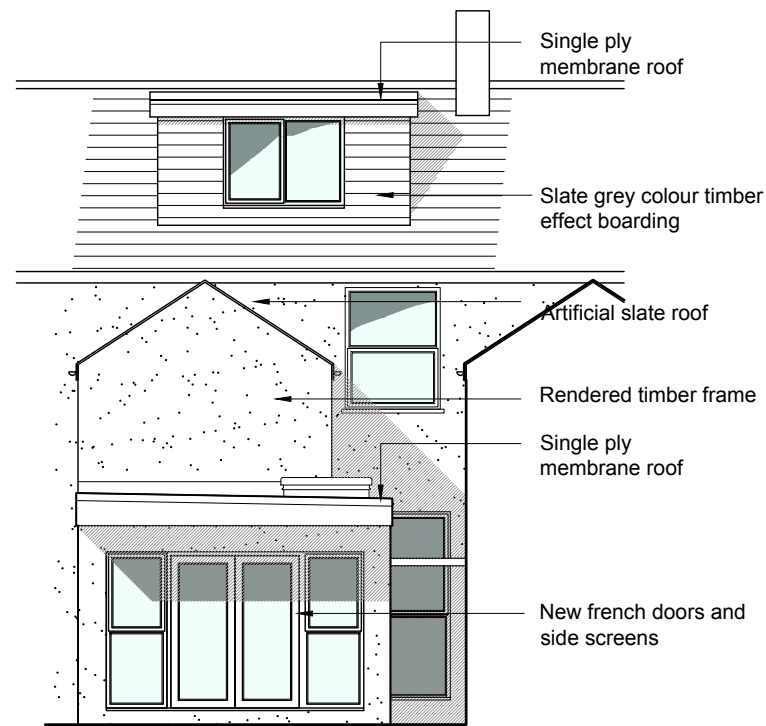
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Revision: -



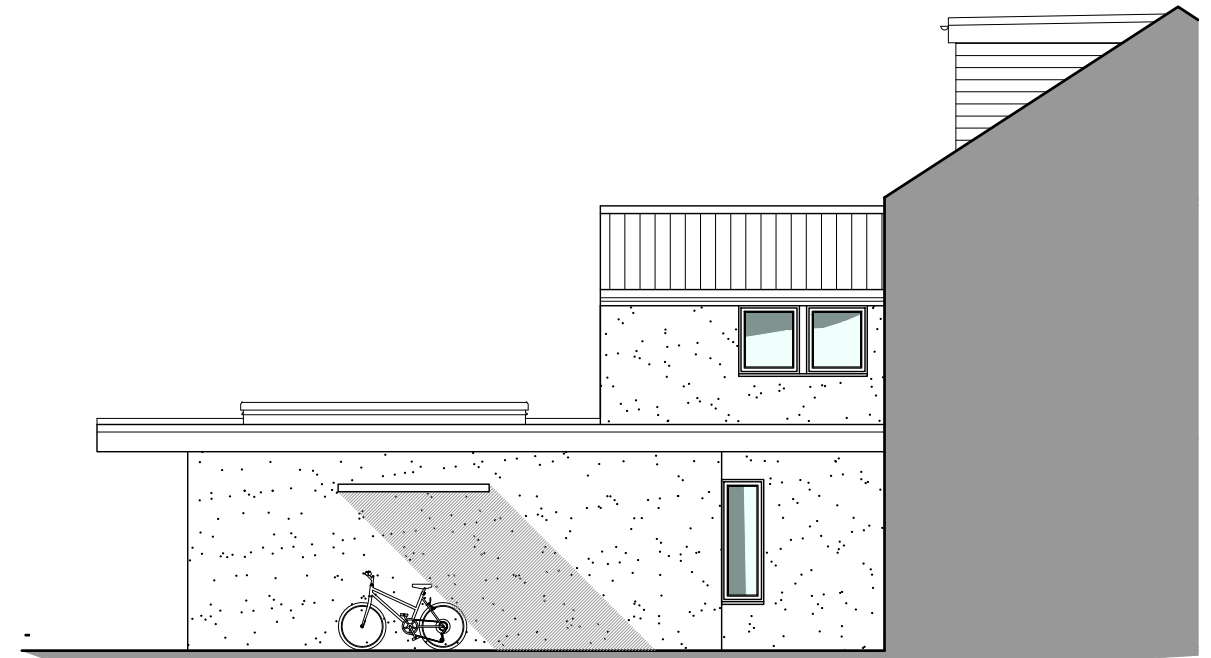
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scale 1:100



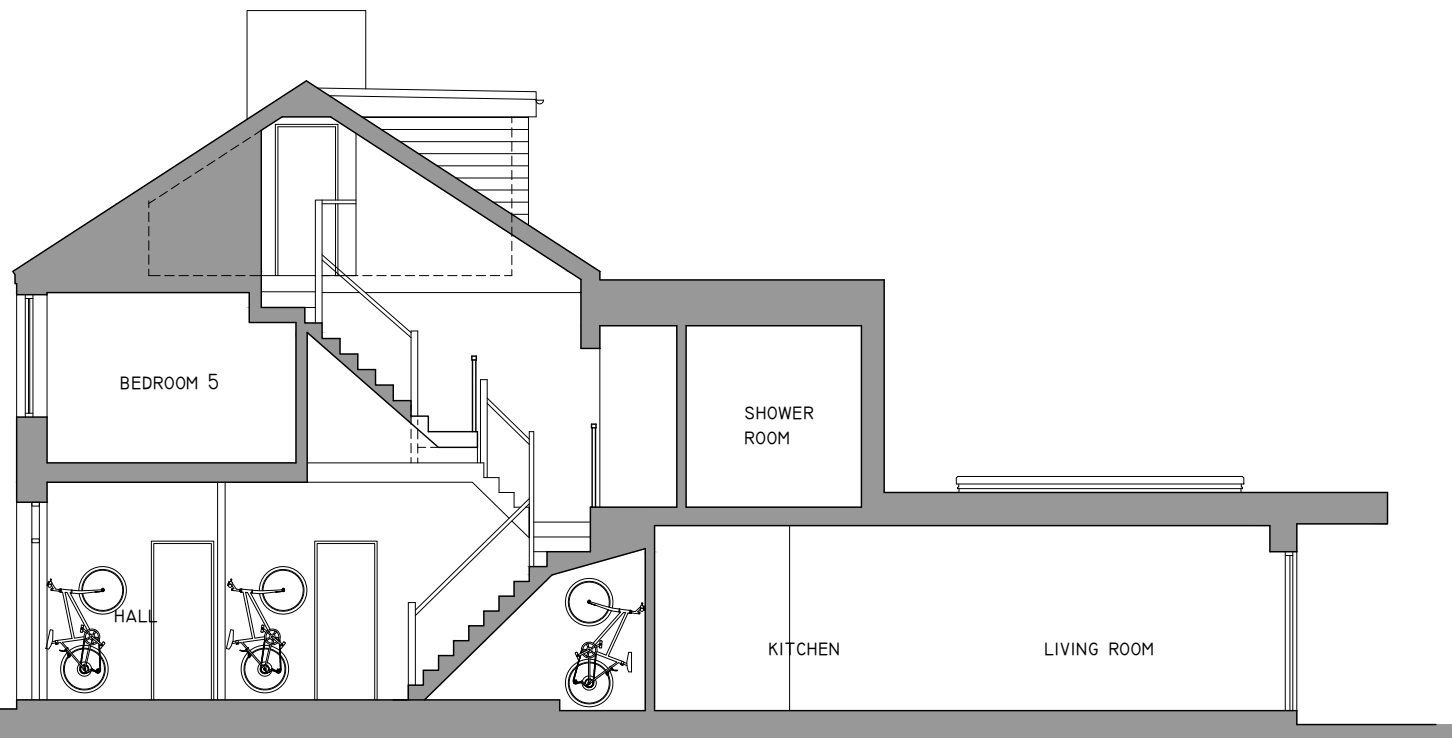
Proposed Rear Elevation

scale 1:100



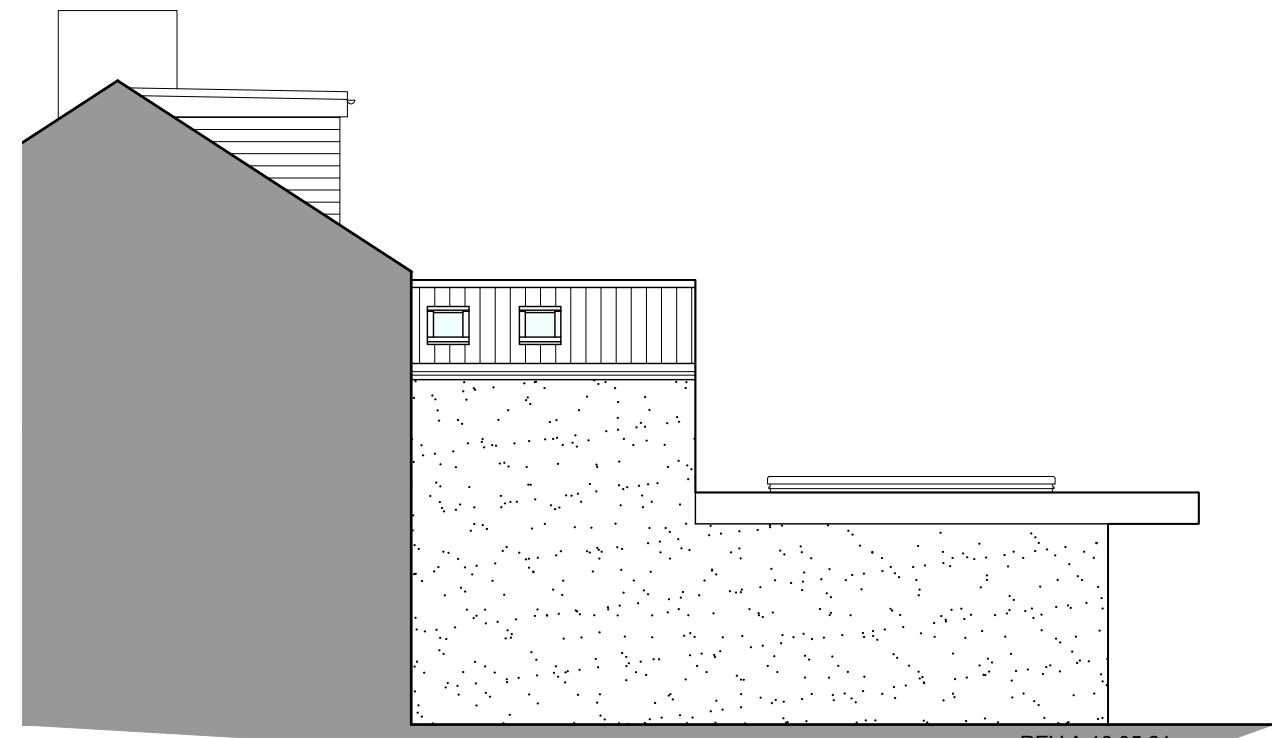
Proposed Side Elevation

scale 1:100



Proposed Section

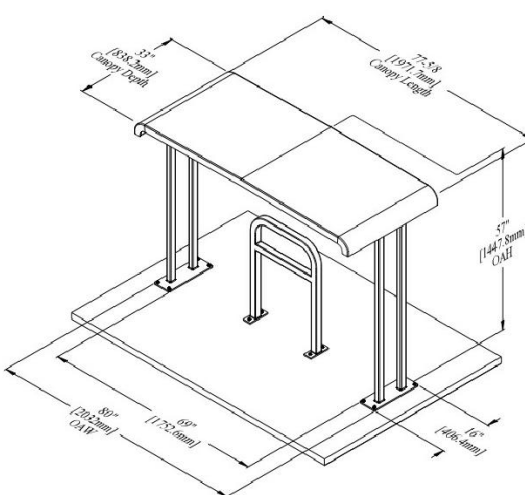
scale 1:100



Proposed Side Elevation

scale 1:100

REV A 18.05.21
Addition of bike stand and cut back extension
by 350mm



0 1m 2m 3m 4m 5m



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Chartered Practice

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Project:
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SECTIONS AND ELEVATIONS**

Drawn: AM Checked: Date: APR 21

Scale: 1:100 Drawing Size: A3

Drawing No: D0518339-76COB-L02

Revision: **A**

PETITION

COMMITTEE DATE: 18/08/2021

APPLICATION No. **21/00829/MNR** DATE RECEIVED: 01/04/2021ED: **FAIRWATER**

APP: TYPE: Full Planning Permission

APPLICANT: Mr Roach.

LOCATION: 173 Pwllmelin Road, Fairwater, Cardiff, CF5 3QB

PROPOSAL: CHANGE OF USE FROM A2 ESTATE AGENCY TO A3 HOT FOOD TAKEAWAY

RECOMMENDATION 1: That planning permission be **GRANTED** subject to the following conditions:

- 1 C01 – Statutory Time Limit
- 2 The premises shall principally be used as a restaurant/hot food takeaway, café or coffee shop only and for no other purpose (including any other purpose in Class A3 of the Schedule to the Town and Country Planning (Use Classes) Order 1987 or in any provision equivalent to that Class in any statutory instrument amending, revoking or re-enacting that Order).
Reason: The use of the premises for other purposes within Class A3 could detract from the amenities of nearby occupiers.
- 3 Members of the public shall only be admitted to or allowed to remain on the premises between the hours of 08:00 and 23:00 on any day.
Reason: To ensure that the amenities of other premises in the vicinity are protected, in accordance with policy EN13 of the Local Development Plan.
- 4 If at any time the use of the premises requires the installation of any external extraction equipment associated with the permitted use, details of the equipment shall be submitted to and approved by the Local Planning Authority in writing prior to installation of the extraction equipment.
Reason: To ensure that the amenities of occupiers of other premises in the vicinity are protected, in accordance with policy EN13 of the Local Development Plan.
- 5 Prior to beneficial use secure and covered cycle storage shall be provided for staff use within the site to accommodate at least 1 cycle and shall thereafter be retained.
Reason: To ensure that secure and under cover cycle parking facilities are provided to encourage other modes of transport over the private

car, in accordance with Policy T5 of the Local Development Plan.

RECOMMENDATION 2: The applicant is advised that a commercial contract is required for the collection and disposal of all commercial wastes under section 34 of the Environmental Protection Act 1990. Owners or developers of commercial developments/properties who require Cardiff County Council to collect and dispose of their waste are advised to contact the Commercial Services dept. (tel: 029 2071 7500).

RECOMMENDATION 3: The granting of planning permission does not remove the need to comply with the statutory nuisance provisions of the Environmental Protection Act 1990. The rating level of the noise emitted from fixed plant and equipment on the site shall achieve a rating noise level of background -10dB at the nearest noise sensitive premises when measured and corrected in accordance with BS 4142: 2014 (or any British Standard amending or superseding that standard).

RECOMMENDATION 4: The applicant is advised that a suitable grease trap should be provided to prevent entry into the public sewerage system of matter likely to interfere with the free flow of the sewer contents, or which would prejudicially affect the treatment and disposal of such contents.

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

- 1.1 The application seeks planning permission to change the use of a single storey commercial building from a letting agent (class A2) to a hot food takeaway (class A3).
- 1.2 Internally the premises has a floor area of 46 square metres. Pedestrian access would be via the existing shop front door.

2. **DESCRIPTION OF SITE**

- 2.1 The premises is lies within a group of commercial units adjoined by a beauty salon at no. 171B Pwllmelin Road and a pharmacy shop at no. 68 Plas Mawr Road.

3. **SITE HISTORY**

- 3.1 17/02034/MNR – planning permission granted for single storey extension to office unit (A2).

07/00011/W – planning permission granted for single storey extension to shop unit.

06/02175/W – planning permission granted for change of use from A1 shop to A2 financial and professional services and alterations to shop front.

92/00774/W – planning permission refused for extension of opening hours of proposed cafe and use as a take-away.

91/00778/W – planning permission granted for conversion to café.

3.2 Related History:

12/01520/DCO – planning permission granted and implemented for refurbishment of existing A1 retail unit and change of use to A3 hot food takeaway including new external fascia sign new gated access to rear service yard reinstating existing rear access door and windows to rear side & front elevations at no. 56A Plas Mawr Road.

10/02218/DCO – planning permission granted for new hot food takeaway in single storey extension to side and rear of existing fish and chip shop new mechanical extract flue and relocation of rear external fire escape staircase at no. 58 Plas Mawr Road.

4. **POLICY FRAMEWORK**

4.1 Relevant National Planning Guidance:

Planning Policy Wales (Edition 11, 2021)
Future Wales - the National Plan 2040

4.2 Relevant Cardiff Local Development Plan (2006-2026) policies:

Policy EN13 (Air, Noise, Light Pollution and Land Contamination)
Policy R8 (Food and Drink Uses)
Policy T5 (Managing Transport Impacts)
Policy W2 (Provision for Waste Management Facilities in Development)

4.3 Relevant Supplementary Planning Guidance

Food, Drink and Leisure Uses (2017)
Managing Transportation Impacts (Incorporating Parking Standards) 2018
Waste Collection and Storage Facilities (2016)

5. **INTERNAL CONSULTEE RESPONSES**

5.1 Neighbourhood Services – request a condition to require details of external kitchen extraction equipment to be submitted and agreed.

5.2 Transportation – no comments received.

5.3 Waste Management – A change of use from A2 to A3 may lead to an increase in the volume of waste produced. The proposed storage area at the rear of the property is acceptable. All A3 units are required to provide litter bins at the front of the unit in order to prevent littering on the adopted highway. The tenant will be required to provide, service and empty a litter bin to be placed at the front of the unit during opening hours and removed from the highway

during closing hours. (Please refer the applicant to Paragraph 5.12 of the Food, Drink and Leisure Uses Supplementary Planning Guidance: 2017).

6. **EXTERNAL CONSULTEE RESPONSES**

6.1 South Wales Police – no comments received.

7. **REPRESENTATIONS**

7.1 The application was publicised by letter and site notice. A petition of objection was received, signed by 195 residents. Full details are viewable online.

7.2 Objections were received from nos. 171B Pwllmelin Road, 56A and 58 Plas Mawr Road. Full details are viewable online, their comments are summarised as follows:

- a) *Noise and smell impact;*
- b) *No details of extraction system;*
- c) *Concentration of existing class A3 uses;*
- d) *Antisocial behaviour;*
- e) *Parking impact;*
- f) *Waste;*
- g) *Impact upon business of existing hot food takeaway premises.*

7.3 The landlord of the property (Cardiff Council Estates) have commented, summarised as follows:

As landlord, unwilling to provide consent for the permission of a change of use as per the lease commencing 1st May 1982. The parade on which the unit is situated currently provides a good tenant mix. It incorporates the right proportion of various retail traders that satisfies the surrounding residential area. It is considered that another A3 user within the parade will not benefit the parade or existing community.

8. **ANALYSIS**

8.1 **Land Use Policy**

The application site is located within the settlement boundary as defined by the LDP proposals map and outside of a designated district or local centre. The existing A2 use is afforded no specific land use policy protection or designation. The application premises comprise one of a number of commercial premises (Use Classes A1/A2/A3/) within a commercial frontage.

The proposal should be assessed against Policy R8: Food and Drink Uses which identifies that food and drink uses are most appropriately located in the city centre (Central Business Area), the inner harbour/waterfront area of Cardiff Bay (Bay Business Area) and District and Local Centres. Food and drink uses are unlikely to be acceptable within or adjacent to residential area,

where they would cause nuisance and loss of amenity, or result in the loss of a residential property.

Although outside of a designated district of local centre, the application premises fall within an extended commercial shopping parade, where similar uses are already located and the change of use would not result in the loss of residential accommodation. Assessed against the above policy framework, the application raises no land use policy concerns.

8.2 Residential Amenity

Policy R8 of the LDP identifies that A3 (food and drink) uses are most appropriately located in the City Centre, the Bay and District and Local Centres, and the Food, Drink and Leisure Uses SPG identifies that A3 (food and drink) uses are most appropriately located in the City Centre Principal Shopping Area, District and Local Centres and the City Centre Principal Business Area. It is noted that the site is not located within a designated commercial centre and there is residential accommodation above other commercial premises in the locality. However, having regard that the premises is located within a terrace of commercial uses including class A3 uses at nos. 56a & 58 Plasmawr Road, the proposed use is considered appropriate. Residents in a mixed use commercial location cannot expect the same standards of amenity as those living in a wholly residential area.

It is noted that a previous application (92/00774/W) to extend the opening hours of and use as a take-away was refused, for loss of amenity from opening after 6pm. However, since then class A3 hot food takeaway uses with evening opening have been approved at 56A and 58 Plas Mawr Road, and the Cardiff Local Development Plan was adopted in January 2016 superseding previous development plan policies.

Conditions are considered necessary: (2) to prevent any future changes of use within the A3 use class to a more harmful use such as a public house; (3) to restrict the opening hours to 08:00 – 23:00; and (4) to require details of any future extraction system to be submitted and agreed. Having regard to the above it is considered that the proposal would not have any unreasonable amenity impact.

8.3 Crime & Disorder

Paragraph 3.11 of Planning Policy Wales states that '*Local authorities are under a legal obligation to consider the need to prevent and reduce crime and disorder in all decisions that they take. Crime prevention and fear of crime are social considerations to which regard should be given in the preparation of development plans and taking planning decisions.*' The Food, Drink and Leisure Uses SPG identifies District Centres as an appropriate location for food and drink (A3) uses, subject to detailed considerations. The SPG states that consideration should be given to whether a proposal, in conjunction with existing and approved similar uses, would create a concentration of such uses, or give rise to (or exacerbate) problems of public safety and security.

South Wales Police were consulted, no comments were received.

Condition 3 would restrict opening to the hours of 08:00 – 23:00, and condition 2 would prevent any future changes of use within the A3 use class to more harmful uses such as a public house. Having regard to the above it is considered that the proposal would not have any unreasonable crime/disorder impact.

8.4 Transportation

The Managing Transportation Impacts (Incorporating Parking Standards) SPG identifies a minimum requirement of no car parking spaces and cycle parking for staff at a ratio of 2 per 100 square metres for class A3 uses. The proposed use is therefore considered to be car parking policy compliant. Secure and covered cycle parking for staff use can be satisfactorily accommodated at the rear, condition 6 is considered necessary to ensure cycle storage is provided prior to beneficial use. A condition preventing hot food takeaway sales would be unsustainable on the basis that existing class A3 uses within close proximity to the site have no restriction on hot food take away use.

8.5 Access

The entrance is level with the street, it is therefore considered that the proposal is inclusive in terms of access equality.

8.6 Other Matters

The request from Waste Management for a litter bin to be placed outside the unit is not considered reasonable having regard that there are existing litter bins within close proximity to the application site in front of this frontage of commercial units.

8.7 Representations

The representations received from neighbouring residents/business occupiers are noted. Specific issues are addressed as follows:

- a) Noise/smell impact: It is considered that the proposal would not result in unacceptable noise consequences as detailed within the above analysis. Condition 3 would restrict opening to the hours of 08:00 – 23:00, and condition 4 would require details of any kitchen extraction system to be submitted and agreed prior to installation, as requested by Neighbourhood Services. There are also additional statutory powers to control noise under the Control of Pollution Act 1990.
- b) No details of extraction system: Condition 4 would require details of any kitchen extraction system to be submitted and agreed prior to installation.
- c) Concentration of existing class A3 uses: The proposed use is considered policy compliant as detailed within the land use policy analysis.
- d) Antisocial behaviour: It is considered that the proposal would not result in unacceptable impact as detailed within the above analysis. Condition 3

would restrict opening to the hours of 08:00 – 23:00, and condition 2 would prevent change of use within the A3 use class to more harmful uses such as a public house.

- e) Parking Impact: The proposed use is compliant with the Council's adopted Managing Transportation Impacts (Incorporating Parking Standards) SPG with no off street parking provision as detailed within the transportation analysis.
- f) Waste: A location for the storage of waste within the site has been identified, and confirmed acceptable by Waste Management.
- g) Impact upon business of existing class A3 premises: Not a material planning consideration.
- h) Landlord consent/terms of lease: Not a material planning consideration.

9. **OTHER CONSIDERATIONS**

Crime and Disorder Act 1998 – Section 17(1) of the Crime and Disorder Act 1998 imposes a duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.

Equality Act 2010 – The Equality Act 2010 identifies a number of 'protected characteristics', namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. The Council's duty under the above Act has been given due consideration in the determination of this application. It is considered that the proposed development does not have any significant implications for, or effect on, persons who share a protected characteristic.

Well-Being of Future Generations Act 2016 – Section 3 of this Act imposes a duty on public bodies to carry out sustainable development in accordance with the sustainable development principle to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (Section 5). This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable impact upon the achievement of wellbeing objectives as a result of the recommended decision.

10. **CONCLUSION**

It is concluded that the application is acceptable in accordance with the planning policies listed, and is recommended that planning permission be granted, subject to conditions.

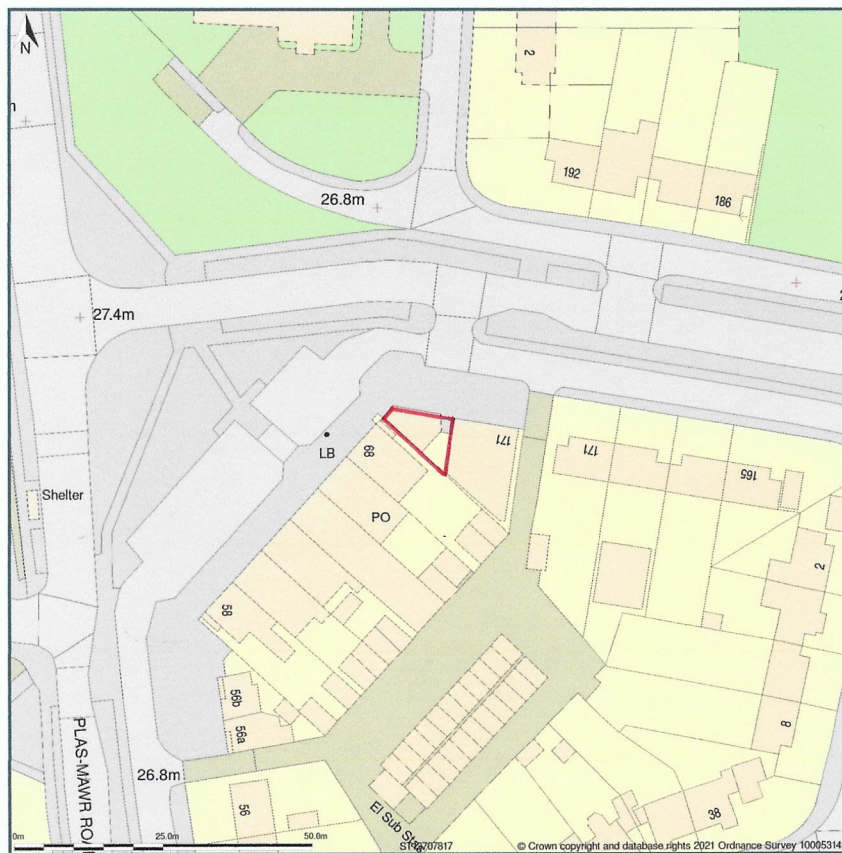
11. **ALTERNATIVE RECOMMENDATION**

- 11.1 This application was considered at 28th July 2021 Planning Committee where it was resolved to defer the application to the next meeting of Planning Committee

for reasons for refusal. If members remain minded to refuse the application the following reasons are suggested :

1. The premises are located in a primarily residential area outside an existing district or local centre and the proposed use is considered likely to result in nuisance and loss of amenity to adjoining and nearby residents by virtue of smell, noise, and general disturbance, particularly during the evenings. The proposal is therefore contrary to Policies EN13 and R8 of the Cardiff Local Development Plan (2016-2026), and the advice given in the Council's Food and Drink and Leisure Uses Supplementary Planning Guidance.

Mr Homes, 173, Pwllmelin Road, Fairwater, Cardiff, CF5 3QB



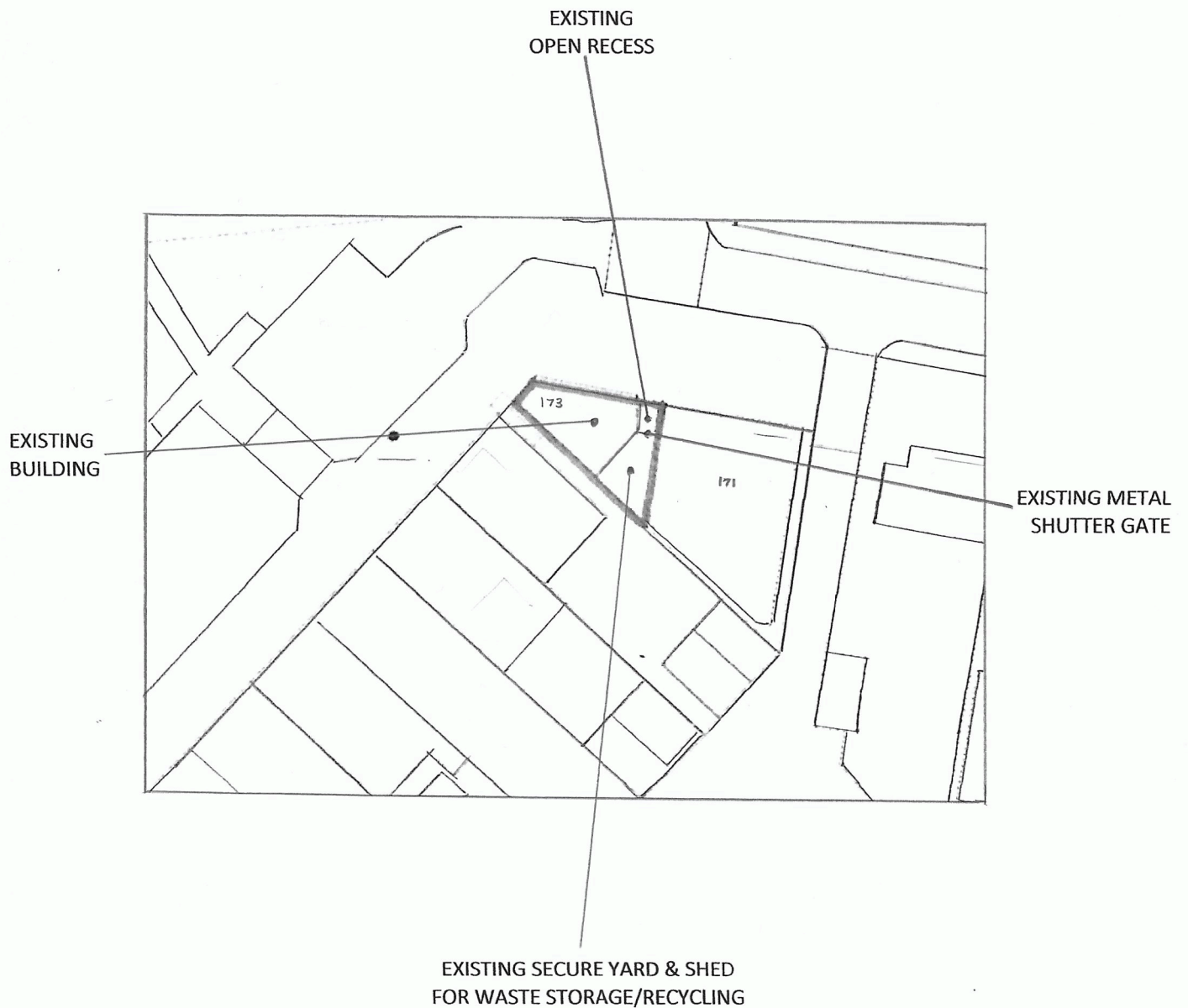
Site Plan shows area bounded by: 313630.35, 178104.16 313771.78, 178245.58 (at a scale of 1:1250), OSGridRef: ST13707817. The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

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173 PWLLMELIN ROAD, FAIRWATER, CARDIFF, CF5 3QB

PROPOSED CHANGE OF USE FROM A2 ESTATE AGENCY TO A3 HOT FOOD TAKEAWY, 1:500 SCALE



PETITION AND LOCAL MEMBER OBJECTION

COMMITTEE DATE: 18/08/2021

APPLICATION No. **21/00949/MNR** APPLICATION DATE: 27/04/2021ED: **LLANISHEN**

APP: TYPE: Full Planning Permission

APPLICANT: BASE SUPPORT SERVICES
 LOCATION: 19 TY GLAS AVENUE, LLANISHEN, CARDIFF, CF14 5DX
 PROPOSAL: CHANGE OF USE FROM C3 (DWELLINGHOUSE) TO C2
 (RESIDENTIAL INSTITUTION - TO PROVIDE SUPPORTED
 ACCOMMODATION FOR CHILDREN UNDER 16).
 ALTERATIONS TO FRONT ELEVATION, PORCH AND
 CONVERSION OF GARAGE TO LIVING ACCOMMODATION
 WITH INFILL EXTENSION TO CONNECT TO MAIN HOUSE

RECOMMENDATION 1 : That planning permission be **GRANTED** subject to the following conditions :

1. C01 Statutory Time Limit
2. The development shall be carried in accordance with the following approved plans:
 - P05 Rev. A – Proposed Ground Floor Plan
 - P06 – Proposed First Floor Plan
 - P07 – Roof Plan
 - P08 – Proposed Elevations
 - Service Management Statement – Ty Glas – June 2021

Reason: To ensure satisfactory completion of the development and for the avoidance of doubt in line with the aims of Planning Policy Wales to promote an efficient planning system.

3. Prior to the beneficial use of the property 5 undercover and secure cycle parking spaces shall be provided within the curtilage of the site and thereafter retained for the storage of bicycles.
 Reason: To ensure that secure cycle parking facilities are provided to encourage other modes of transport over the private car in accordance with Policies KP8, T1 and T5 of the Cardiff Local Development Plan 2006-2026.
4. Notwithstanding the approved plans there shall be no beneficial use of the development, hereby approved, until such time as parking spaces to the side of the property are implemented in accordance with details which shall first be submitted and approved by the local planning

authority.

Reason: To secure an orderly form of development in the interests of the safe and efficient operation of the highway in accordance with Policies T5 and T6 of the Cardiff Local Development Plan 2006-2026.

5. Prior to beneficial use of the development, hereby approved, full details of soft landscaping shall be approved by the Local Planning Authority. These details shall include:
- A soft landscaping implementation programme. Scaled planting plans prepared by a qualified landscape architect/garden designer.
 - Evidence to demonstrate that existing and proposed services, lighting, CCTV, drainage and visibility splays will not conflict with proposed planting.
 - Schedules of plant species, sizes, numbers and densities prepared by a qualified landscape architect/garden designer.
 - Scaled tree pit sectional and plan drawings prepared by a qualified landscape architect/garden designer that show the Root Available Soil Volume (RASV) for each tree.
 - Topsoil and subsoil specification for all planting types, including full details of soil assessment in accordance with the Cardiff Council Soils and Development Technical Guidance Note, soil protection, soil stripping, soil storage, soil handling, soil amelioration, soil remediation and soil placement to ensure it is fit for purpose. Where imported planting soils are proposed, full specification details shall be provided including the parameters for all imported planting soils, a soil scientists interpretive report demonstrating that the planting soil not only meets British Standards, but is suitable for the specific landscape type(s) proposed. The specification shall be supported by a methodology for storage, handling, amelioration and placement.
 - Planting methodology and post-planting aftercare methodology prepared by a qualified landscape architect/garden designer, including full details of how the landscape architect/garden designer will oversee landscaping implementation and report to the LPA to confirm compliance with the approved plans and specifications.

The submitted details shall be consistent with other plans submitted in support of the application and the landscaping shall be carried out in accordance with the approved design and implementation programme.

Reason: To enable the Local Planning Authority to determine that the proposals will maintain and improve the amenity and environmental value of the area, and to monitor compliance in accordance with Policies K15 and KP16 of the Cardiff Local Development Plan 2006-2026.

6. The premises shall only be used for the provision of residential accommodation and care to people in need of care and for no other

purpose (including a hospital, nursing home, residential school, college or training centre) within Class C2 of The Town & Country Planning (Use Classes) Order 1987 or any order revoking, amending or re-enacting that Order with or without modification.

Reason: For the avoidance of doubt and as the implications of other uses have not been assessed and may not accord with the Policies of the Cardiff Local Development Plan 2006-2026.

RECOMMENDATION 2: South Wales Police would welcome opportunity to work with the developer and provide the following initial advice:

- A detailed management plan should always be in place. The plan should provide details of staffing levels, the number of staff to child ratios at all times, qualifications of staff to work with the children, criminal records checks and safeguarding issues, an agreed protocol with police should a child be absent from the home without permission. Details of regulatory framework and oversight. There should be an appropriate fire safety/evacuation plan in place. Consultation with the local Policing Inspector prior to opening would be key to ensuring the staff/ Police have a good working relationship.
- South Wales Police would recommend that an audio/ visual access control system is fitted on the main entrance door and exterior lighting is fitted outside the main entrance door which should be positioned at the front of the house. **Reason:** Both staff and residents can feel safe when entering the building at night and when opening the door.
- Each individual room should have lockable cabinet for individual person's possessions to be stored with a master key for staff. **Reason:** To prevent theft
- External doors and ground floor windows to PAS 24:2016 standards. **Reason:** To prevent burglary/ theft

RECOMMENDATION 3: Welsh Water advise:

The proposed development site is crossed by public sewers with the approximate position being marked on the attached Statutory Public Sewer Record. In accordance with the Water Industry Act 1991, Dwr Cymru Welsh Water requires access to its apparatus at all times in order to carry out maintenance and repairs. However, having regard to the proposed block plan, it appears the proposed development (proposed porch) would be situated within the protection zone of the public sewers measured 3 metres either side of the centreline. We kindly request the applicant contact our Build Over Sewer Team on 0800 917 2562 to establish if a Build Over Sewer application will be required / likely to be approved. Alternatively, it may be possible to divert the sewers if the developer applies under Section 185 of the Water Industry Act or we recommend the proposed development is repositioned to accommodate for the required protection zone.

The applicant may need to apply to Dwr Cymru / Welsh Water for any connection to the public sewer under S106 of the Water industry Act 1991. If the connection to the public sewer network is either via a lateral drain (i.e. a

drain which extends beyond the connecting property boundary) or via a new sewer (i.e. serves more than one property), it is now a mandatory requirement to first enter into a Section 104 Adoption Agreement (Water Industry Act 1991). The design of the sewers and lateral drains must also conform to the Welsh Ministers Standards for Gravity Foul Sewers and Lateral Drains, and conform with the publication "Sewers for Adoption"- 7th Edition. Further information can be obtained via the Developer Services pages of www.dwrcymru.com

The applicant is also advised that some public sewers and lateral drains may not be recorded on our maps of public sewers because they were originally privately owned and were transferred into public ownership by nature of the Water Industry (Schemes for Adoption of Private Sewers) Regulations 2011. The presence of such assets may affect the proposal. In order to assist us in dealing with the proposal the applicant may contact Dwr Cymru Welsh Water on 0800 085 3968 to establish the location and status of the apparatus. Under the Water Industry Act 1991 Dwr Cymru Welsh Water has rights of access to its apparatus at all times.

1. DESCRIPTION OF THE SITE

- 1.1 The site comprises a two storey semi-detached dwelling on a corner plot on the periphery of a housing estate to the north east of the city.
- 1.2 The site is bounded by roads to the north and west including the main thoroughfare Ty Glas Avenue which lies across a secondary road a school lies directly opposite across the aforementioned road. The site is bounded by dwellinghouses to the east and south.
- 1.3 The existing dwellinghouse has previously been extended, at two stories in height, to its side elevation and represents a large dwelling within the context of the area. A detached garage lies in to the south in close proximity to the extended rear elevation of the dwelling. A car parking area accessed from the side road lies forward of the garage.

2. DESCRIPTION OF THE PROPOSED DEVELOPMENT

- 2.1 Planning permission is sought for the change of use of the dwellinghouse (Use Class C3) to a Residential Institution (Use Class A2) to provide supported accommodation for children under 16.
- 2.2 The applicant is an organisation, which operates two similar facilities within Cardiff, that specialises in working with children and young people who have experienced local authority care who need a safe, nurturing environment that promotes development and supports preparation for independence. The proposal would provide accommodation, support and care for up to four children and young people who are looked after by the local authority who need a level of care and support to enable them to achieve lasting positive outcomes, safely and with confidence. The premises would be registered as a Children's Home under the Regulation and Inspection of Social Care (Wales) Act 2016 and would provide a high standard of accommodation, care and support

accordingly. The premises would be able to provide flexible accommodation, care and support for young people which is tailored to meet their changing needs over time. All referrals for placements come from Local Authorities and there is no predetermined categories of need or diagnosed condition, however, the remit is not for same day emergency placements.

- 2.3 The premises would be staffed by staff with specific experience, skills and knowledge, who are professionally dedicated, appropriately trained and properly supported to deliver on our commitment for quality care and support. An equivalent of 6.6 full time employees, including a manager, will be required to staff the premises with a typical rota comprising 2 staff members present at the premises over a 24 hour period covering day and night time shift with handovers at 9am and 5pm.
- 2.4 Small extensions are proposed to the existing building comprising a porch extension and a rear infill extension connecting the main building to the existing garage. The proposed porch would be to the front of the building measuring approx. 3.4m x 2.3m with a mono pitch roof extending to a maximum height of approx. 3.9m. The infill extension would take the form of the existing flat roofed garage and be extended to meet the rear elevation of the main building with roof lights provided over the extended area. Both extensions would be finished in materials that match the existing building.
- 2.5 Internal alterations would be undertaken to the property to provide a large open plan kitchen and dining room, a lounge, managers office, laundry room, staff room, shower room, WC and storage to the ground floor and four good sized bedrooms, a small sleepover room for staff, a shower room and WC to the first floor.
- 2.6 Principal access to the property would be via a path, through the proposed porch, to the front elevation off Ty Glas Avenue. A single crossover providing access to formal space for the parking of a car is located to the west elevation as existing and an informal second space appears available adjacent, however, the proposal fails to clarify future proposed parking provision with indication that parking would be totally lost and replaced by landscaped gardens, on-street parking is available within the area. The existing rear garden would be retained.

3. **RELAVANT SITE HISTORY**

Application No : 11/00658/DCH
Proposal : 2 STOREY SIDE EXTENSION TO SIDE OF HOUSE. NEW LOUNGE/KITCHEN TO GROUND FLOOR AND NEW BEDROOM.SHOWER ROOM TO FIRST FLOOR
Application Type: HSE
Decision : PER
Decision Date : 10/06/2011

4. **POLICY FRAMEWORK**

National Planning Policy

- Future Wales: The National Plan 2040 (2021)
- Planning Policy Wales (11th Ed, 2021)
- Technical Advice Note 5: Nature Conservation and Planning
- Technical Advice Note 11: Noise
- Technical Advice Note 12: Design
- Technical Advice Note 15: Development and Flood Risk

Cardiff Local Development Plan 2006-2026 (2016)

- Policy KP1: Level of Growth
- Policy KP3(B): Settlement Boundaries
- Policy KP5: Good Quality and Sustainable Design
- Policy KP8: Sustainable Transport
- Policy KP13: Responding to Evidenced Social Needs
- Policy KP14: Healthy Living
- Policy KP15: Climate Change
- Policy KP16: Green Infrastructure
- Policy H4: Change of Use of Residential Land or Properties
- Policy EN6: Ecological Networks and Features of Importance for Biodiversity
- Policy EN7: Priority Habitats and Species
- Policy EN10: Water Sensitive Design
- Policy EN13: Air, Noise, Light Pollution and Land Contamination
- Policy EN14: Flood Risk
- Policy T1: Walking and Cycling
- Policy T5: Managing Transport Impacts
- Policy T6: Impact on Transport Networks and Services
- Policy C3: Community Safety/Creating Safe Environments
- Policy W2: Provision for Waste Management Facilities in Development

Supplementary Planning Guidance

- Managing Transportation Impacts (July 2018)
- Waste Collection and Storage Facilities (October 2016)

5. INTERNAL CONSULTEE RESPONSES

- 5.1 Waste Management advise that the storage of waste within the curtilage of the property would be acceptable.
- 5.2 Traffic and Transportation have been consulted, no representations have been received.
- 5.3 Flood & Coastal Risk Management have been consulted, no representations have been received.
- 5.4 SRS – Pollution Control have been consulted, no representations have been received.

5.5 The Councils Planner (Trees and Landscaping) strongly supports the indicative provision for soft landscaping and new tree planting which is considered the sort of enhancement sought in respect of such development. A condition in respect of detailed landscaping is requested.

6. **EXTERNAL CONSULTEE RESPONSES**

6.1 South Wales Police note that young persons in care are a particularly vulnerable group in society who sometimes have complex support needs. The area has a reasonably high level of recorded crime and as not all crime is likely to be reported or recorded true level of criminal activity in the area maybe even higher. No objection is raised to the proposal. A detailed management plan should be put in place prior to occupation which should include staffing levels, ratios of staff to children, qualifications of staff, criminal records checks and safeguarding issues, an agreed protocol with Police, the LPA are in receipt of an equivalent document. Furthermore it is recommended that an audio/visual access control system and lighting is fitted at the main entrance, each individual room should be lockable and external doors and windows should meet current standards.

6.2 Welsh Water raise no objection to the proposal and provide general guidance notes.

7. **REPRESENTATIONS**

7.1 The application was advertised by way of neighbour notification letter.

7.2 A petition of 51 signatories has been received objecting to the proposal on the following summarised grounds:

- Increase in noise levels, disturbance, anti-social behaviour;
- Resulting traffic congestion
- Change in characteristics and dynamics of the area;
- Not a suitable location to have such a facility within a residential street.

7.3 Letters of representation from the owner/occupiers of 12, 17 and 21 Ty Glas Avenue have been received. Objections to the proposal are raised on the following summarised grounds:

- Risk of Anti-social behaviour, noise and disturbance;
- Change of the characteristics of the street;
- Increased traffic congestion and parking need;
- Lack of private external amenity space;
- Concerns regarding breaches GPDR;
- Increase in rubbish and litter.

Furthermore, letters of support from a support worker and doctor have been submitted on behalf of an objector with regard to their particular family circumstances and the resulting effect that any noise, disturbance or

dysfunctional communication could have on their health and well-being.

7.4 Local Ward Members for Llanishen Cllrs Jenkins, Melbourne, Lancaster and Parkhill object to the proposal on the following summarised grounds:

- No community engagement has been undertaken and this should lead the LPA draw an adverse inference on the applicants decision not to do so;
- Resulting negative impact upon the character of the area and community;
- Risk of anti-Social Behaviour, offending, noise and disturbance, particularly given the personal circumstances of a neighbouring resident;
- Effect upon traffic movements, congestion and parking.

8. **ANALYSIS**

8.1 Introduction

8.1.1 The application premises is within the defined settlement boundary and has no specific allocation or designation Policy KP3(B) indicates that there is a general presumption in favour of development within the settlement boundary subject to other material considerations.

8.1.2 Policy KP13 details that *'a key part of the successful progression of the city will be to develop sustainable neighbourhoods, tackle deprivation, and improve quality of life for all'* which will be achieved through measures including providing a range of accommodation and encouraging the provision of a full range of social, health, leisure and education facilities.

8.1.3 Policy H4 permits the conversion of residential properties to other uses where the proposal is for community use necessary within a residential area.

8.1.4 The proposed development would provide accommodation and care for persons in need within a sustainable location offering a good quality living environment and nearby facilities in an area with social cohesion and, therefore, the principle of the proposal is considered acceptable and to accord with the values of Policies KP3(B), KP13 and H4. The principal matters for consideration in respect of the proposal are:

- the effect upon the character of the area;
- the effect upon the amenity of the area and neighbouring and future occupiers;
- the transport impact.

8.2 Impact Upon the Character of the Area

8.2.1 Policy KP5 requires all new development to be of a good quality and sustainable design which responds to the local character and context of the built setting.

8.2.2 The proposal includes minor extensions of small scale which respond to the context of the existing dwellinghouse and general character of the area and

are of a good design.

8.2.3 The proposed use is intrinsically residential in nature and would not appear incongruous within the setting and, therefore, would not harm the character of the area.

8.2.4 Accordingly, it is considered the proposal accords with Policy KP5.

8.3 The Amenity of the Area, Neighbouring and Future Occupiers

8.3.1 Policy KP5 details that proposals for new development will be required to be of good design and ensure that '*no undue effect on the amenity of neighbouring occupiers*' results, this is further supported by Policies H4 and EN13.

8.3.2 The nature of the proposed use is effectively residential in nature whilst there would be some intensification and differences to a dwelling with regards to the use proposed it is considered unlikely that reasonable use of the premises would have any detrimental impact upon the amenities of neighbouring residents in terms of noise and disturbance. The premises would be staffed by two individuals caring for four children which is comparable to the extent of use which could be expected within a dwellinghouse. Increased noise and disturbance, or episodes of anti-social behaviour, cannot be considered an inherent feature of the proposed use, which will be a managed facility with 24 hour adult supervision contrary to what could be expected at a standard residential dwelling with teenage residents. Likewise, the range of accommodation is comparable to a standard dwellinghouse with what may be considered alien features such as a staff room or managers office having similarities to a lounge, kitchen or home office the reasonable use of these facilities would have no adverse impact. The staff room whilst on the party wall would have minimal occupancy and given the aforementioned comparisons could not be deemed to have any adverse impact.

8.3.4 The level of amenity to be provided for occupiers and users of the building are considered adequate.

8.3.5 The general space around buildings is considered adequate relative to the proposed use.

8.3.6 Accordingly, it is considered the proposal would not be of detriment to the amenities of neighbouring occupiers or the area and provides a good quality living environment for future occupiers and, therefore, accords with the principles of Policies KP5, EN13 and H4.

8.4 Transport Impact

8.4.1 Policies KP8, T1, T5 and T6 seek to ensure that new development accords with the principles of sustainable transport and do not impact upon the

existing transport network and services.

8.4.2 The proposed facility is in a sustainable location close to local communities and public transport networks.

8.4.3 Current policy requires that no minimum parking is required for new development in order to promote sustainability and in relation to the proposed use a maximum of one space is permissible in respect of the proposed four bed facility. It appears one formal car parking space is available for the existing dwelling. Given the nature of the proposed use it is considered that the loss of such parking could have some detriment to the safe and efficient use of the highway despite the level of on-street parking and aforementioned policy. The increased potential for vehicle movements and stays, even if only for short periods such as visits or staff changeover, has potential to have detrimental effect, therefore, retention of the existing car parking space would be of benefit. As it is evident that the existing car parking could be retained to facilitate the proposal a condition is recommended in this regard to ensure that car parking is provided.

8.4.4 In order to promote sustainable modes of transport cycle is required to be provided a condition requiring cycle storage space to be provided, in accordance with the relevant SPG, is recommended.

8.4.4 Accordingly, it is considered that the proposal would result in no adverse transport impact and accords the principles of sustainable transport in accordance with the principles of Policies KP8, T1, T5 and T6.

8.5 Other Matters

8.5.1 Policies KP15 and KP16 seek to ensure that green infrastructure and biodiversity is protected, enhanced and the effects of climate change mitigated. The proposal, given its nature and extent, raises no specific concern in this regard the enhancement of soft landscaping is of benefit to the proposal and a condition is recommended in this regard to ensure enhancement is achieved.

8.5.2 Policy EN10 details that '*development should apply water sensitive urban design solutions*' the process of integrating water cycle management with the built environment through planning and urban design. Furthermore, the purpose of Policy EN14 '*is to avert development from where it would be at risk from river, ordinary watercourse, coastal, surface water flooding or where it would increase the risk of flooding or additional run off from development elsewhere*'. With regard to Chapter 6 of PPW and guidance within TAN15 surface water drainage is a material planning consideration and consideration to flooding caused by heavy rainfall and runoff from development in areas of known flooding is required to be given on a case by case basis. The site is not in an area known for main river, sea, reservoir or surface water flood risk, therefore, on this basis it is considered the proposal is unlikely to have any adverse flood risk impact and given the nature and scale of development proposed, including the enhancement of soft landscaping, it is considered there would be no adverse impact and further

requirements are not justified in this regard.

9. **OTHER CONSIDERATIONS**

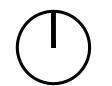
9.1 **Crime and Disorder Act 1998** – Section 17(1) of the Crime and Disorder Act 1998 imposes a duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.

9.2 **Equality Act 2010** – The Equality Act 2010 identifies a number of ‘protected characteristics’, namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. The Council’s duty under the above Act has been given due consideration in the determination of this application. It is considered that the proposed development does not have any significant implications for, or effect on, persons who share a protected characteristic.

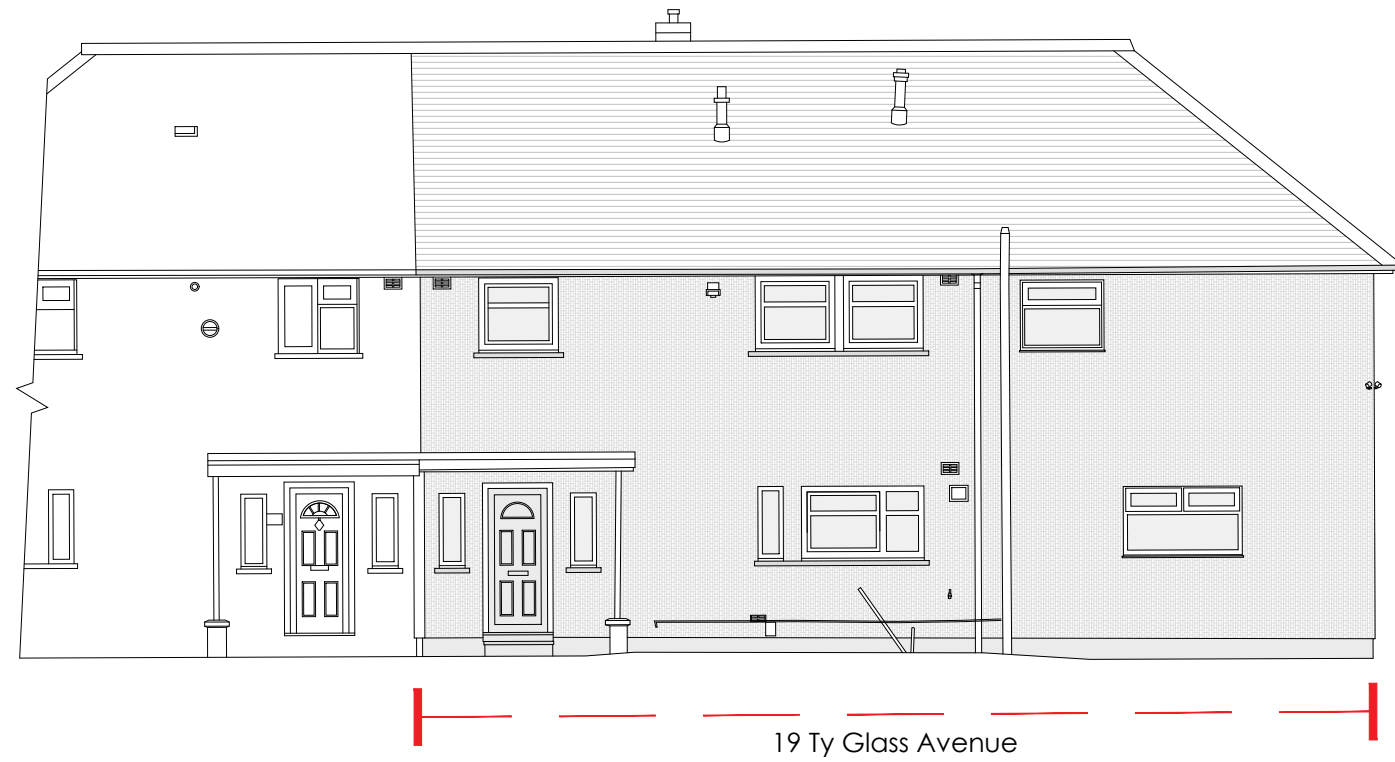
9.3 **Well-Being of Future Generations Act 2015** – Section 3 of this Act imposes a duty on public bodies to carry out sustainable development in accordance with the sustainable development principle to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (Section 5). This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable impact upon the achievement of wellbeing objectives as a result

10. **RECOMMENDATION**

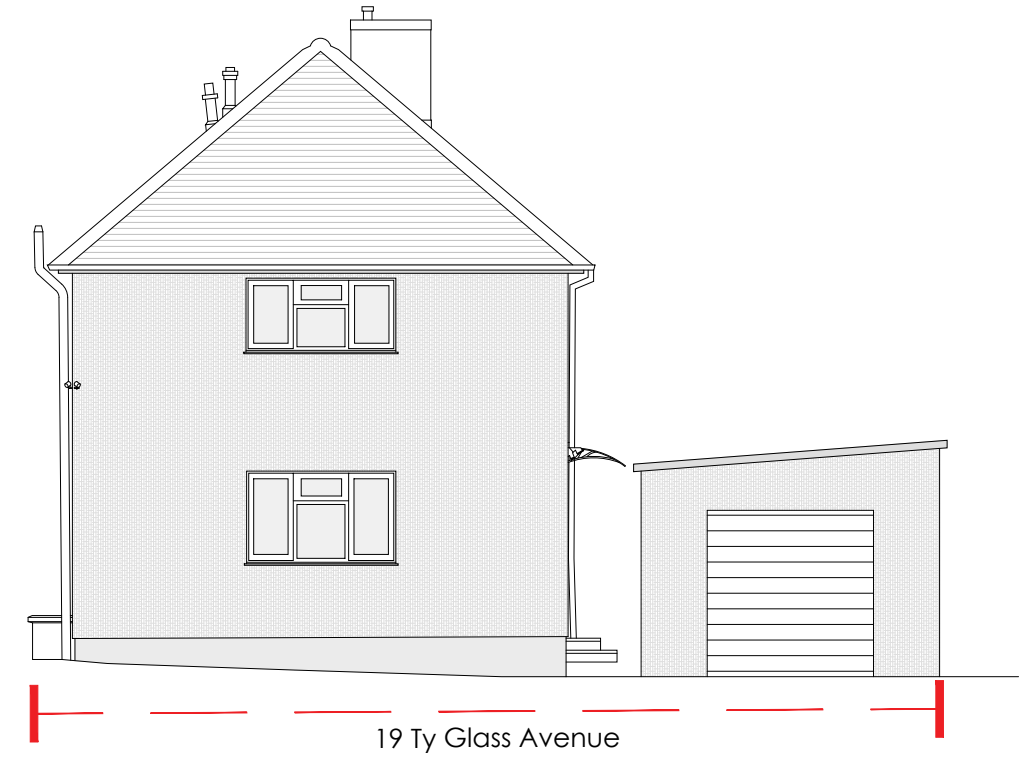
10.1 Having regard to the policy context above, the proposal is considered acceptable and it is recommended that planning permission be granted subject to conditions.



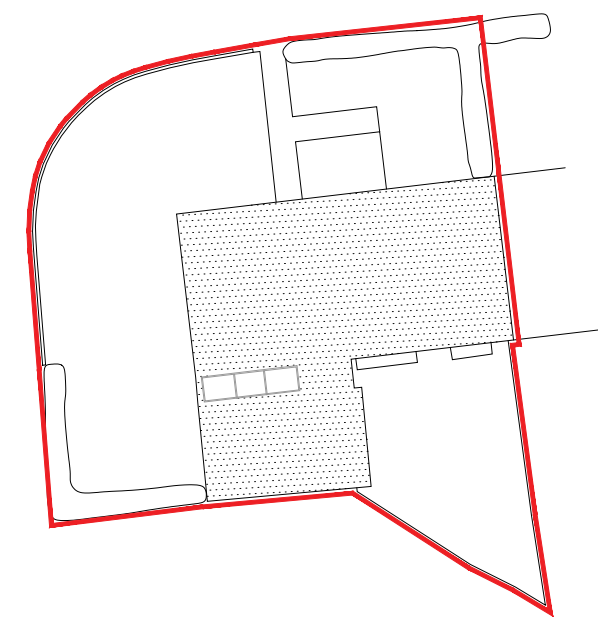
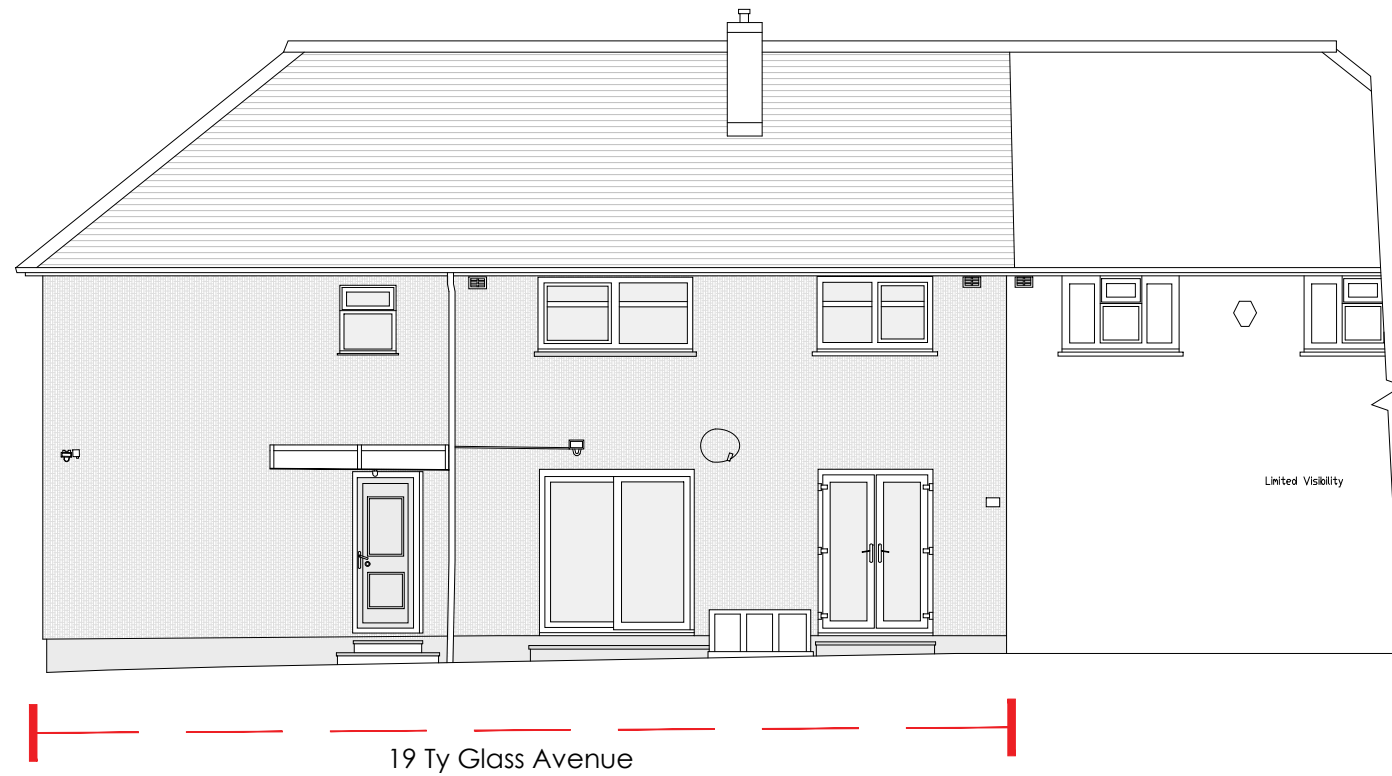
North Elevation



West Elevation

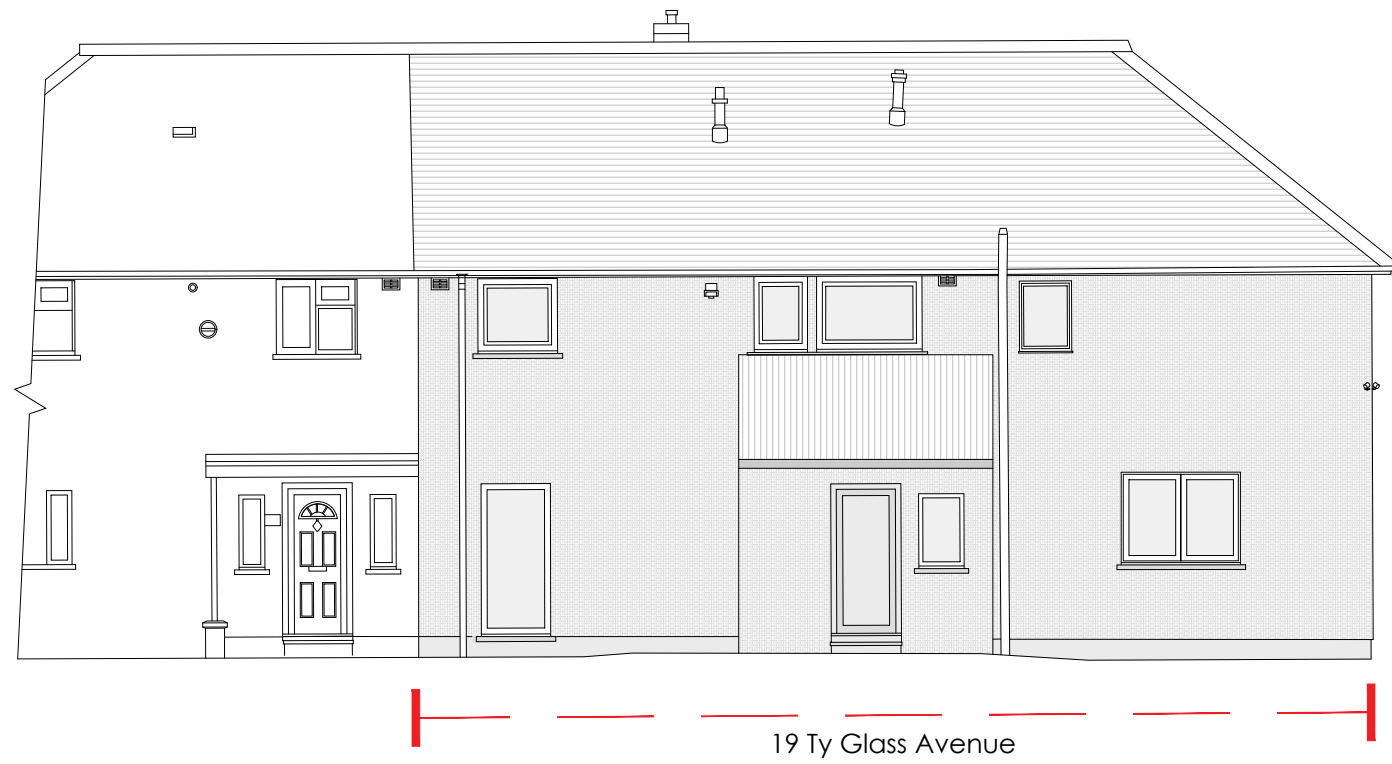


South Elevation



- Key
- Render wall
 - Slate roof
 - Site Boundary

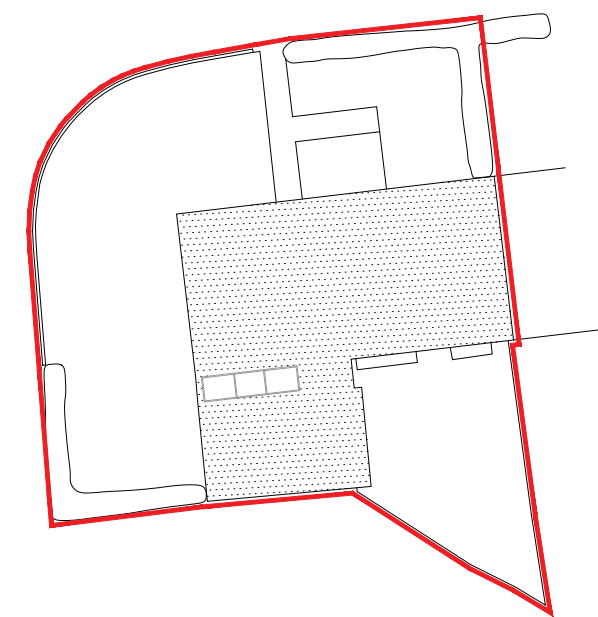
North Elevation



West Elevation



South Elevation



- Key
- Render wall
 - Slate roof
 - Site Boundary

PETITION, MS OBJECTION & LOCAL MEMBER OBJECTION

COMMITTEE DATE: 18/08/2021

APPLICATION No. **21/01440/MNR** APPLICATION DATE: 08/06/2021ED: **RIVERSIDE**

APP: TYPE: Full Planning Permission

APPLICANT: Mr Vidler

LOCATION: REAR OF 37-39A CATHEDRAL ROAD, PONTCANNA,
CARDIFF, CF11 9XF

PROPOSAL: NEW ELECTRICITY SUBSTATION ENCLOSURE

RECOMMENDATION 1 : That planning permission be **GRANTED** subject to the following conditions :

1. C01 Statutory Time Limit
2. The development shall be carried out in accordance with the following approved plans:
 - PP 2000 - Proposed WPD Substation Location Plan
 - PP 2001 - Proposed WPD Substation (Site Plan, Proposed Elevations, Proposed Plans)
 - PP 2002 - Proposed WPD Substation (Rear Lane Elevation)

Reason: To ensure satisfactory completion of the development and for the avoidance of doubt in line with the aims of Planning Policy Wales to promote an efficient planning system.

3. The materials to be used in the construction of the external surfaces of the substation enclosure hereby permitted shall be as specified on approved drawing PP 2001 to match those used on the existing detached office building located in the western corner of the site.
Reason: To ensure the external materials harmonise with the existing building in the interests of the visual amenity of the area in accordance with Policy KP5 of the Cardiff Local Development Plan 2006-2026.
4. The rating level of the noise emitted from the electricity substation shall not exceed background noise level (LA90) at the nearest noise sensitive premises, when measured and corrected in accordance with BS 4142: 2014 +A1 2019 (or any British Standard amending or superseding that standard).
Reason: To ensure that the amenities of occupiers are protected in accordance with Policy KP5 of the Cardiff Local Development Plan 2006-2026.

RECOMMENDATION 2: That the applicant be advised that no work should take place on or over the neighbour's land without the neighbour's express consent and this planning approval gives no such rights to undertake works on land outside the applicants ownership.

RECOMMENDATION 3: The developer is advised to contact Cardiff Council Asset Management (AssetManagement@Cardiff.gov.uk) for the necessary Highway licenses for any works which would directly abut the adopted highway.

RECOMMENDATION 4: The contamination assessments and the effects of unstable land are considered on the basis of the best information available to the Planning Authority and are not necessarily exhaustive. The Authority takes due diligence when assessing these impacts, however you are minded that the responsibility for

- (i) determining the extent and effects of such constraints and;
- (ii) ensuring that any imported materials (including, topsoils, subsoils, aggregates and recycled or manufactured aggregates / soils) are chemically suitable for the proposed end use. Under no circumstances should controlled waste be imported. It is an offence under section 33 of the environmental Protection Act 1990 to deposit controlled waste on a site which does not benefit from an appropriate waste management license. The following must not be imported to a development site:
 - Unprocessed / unsorted demolition wastes.
 - Any materials originating from a site confirmed as being contaminated or potentially contaminated by chemical or radioactive substances.
 - Japanese Knotweed stems, leaves and rhizome infested soils. In addition to section 33 above, it is also an offence under the Wildlife and Countryside Act 1981 to spread this invasive weed;and
- (iii) the safe development and secure occupancy of the site rests with the developer.

Proposals for areas of possible land instability should take due account of the physical and chemical constraints and may include action on land reclamation or other remedial action to enable beneficial use of unstable land.

The Local Planning Authority has determined the application on the basis of the information available to it, but this does not mean that the land can be considered free from contamination.

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

- 1.1 Full planning permission is sought for a Western Power Distribution (WPD) substation enclosure to be sited to the rear of the Cathedral Gardens residential development at 37-39a Cathedral Road, approved under planning permission 19/01956/MJR on 02/12/2020 for 33 flats and 3 townhouses.
- 1.2 The substation, which is to be contained within a small building measuring 4m by 4m, is to be sited in the far southern corner of the site abutting the access lane to

the rear of the site, which serves properties along the south west side of Cathedral Road and properties along the north east side of Ryder Street. Maintenance doors are situated on the rear lane elevation. In this location, the substation can be accessed 24-hours, which is requirement by WPD. The structure has a footprint of 4 by 4 metres to take the WPD standard installation requirements. It is to measure approximately 2.6 metres to eaves height and 4.8 metres to ridge. The structure has been designed to match the appearance of the existing small office building/old coach house that is situated to the far western corner of the site. It is to be finished in red brick in a Flemish bond to its sides with clay roof tiles and pitch to match the existing structure. The structure has been designed to be in-keeping with the surrounds of the Cathedral Road Conservation Area. It is noted in the submission that WPD's technical parameters are met with this proposal. An optional design is a standard WPD uPVC enclosure which would be visually unacceptable in this location and would be of a lower acoustic rating.

- 1.3 The need for the substation was identified after planning application 19/01956/MJR was submitted and processed. Once planning permission was granted and the main contractor appointed in January 2021, their application to WPD revealed that supplies and demands in the area had altered and that a new substation is needed to serve the site. The output of the substation is 500kVA.

2. **DESCRIPTION OF SITE**

- 2.1 The application site is located to the far southern rear corner of 37-39a Cathedral Road, which is a rectangular- shaped parcel of brownfield land currently under development. 37-39a Cathedral Road occupies a corner plot with Cathedral Road sited to the north east and Talbot Street to the north west. No. 33-35 Cathedral Road, occupied by office blocks, is sited to the south east and the rear service lane to the south west, which extends between Talbot Street and Hamilton Street, separating the site from the residential terrace of two-storey dwellings on Ryder Street.
- 2.2 The application site is located within the Cathedral Road Conservation Area.

3. **SITE HISTORY**

Application No : 19/01956/MJR
Proposal : DEMOLITION OF 39A CATHEDRAL ROAD AND REAR ANNEXES OF 37-39 CATHEDRAL ROAD. CONVERSION OF 37 - 39 CATHEDRAL ROAD TO RESIDENTIAL USE, CONSTRUCTION OF 2 NEW APARTMENT BUILDINGS AND 3 NEW TOWNHOUSES, THE RETENTION OF OUTBUILDING IN CLASS B1 USE AND ASSOCIATED CAR PARKING, LANDSCAPING, ACCESS AND ANCILLARY WORKS

Application Type: FUL
Decision : PER
Decision Date : 02/12/2020

Application No : 20/02513/MJR
Proposal : DISCHARGE OF CONDITION 19 (CONSTRUCTION ENVIRONMENT. MANAGEMENT PLAN) OF 19/01956/MJR

Application Type: DOC
Decision : FDC

Decision Date : 20/01/2021

Application No : 20/02546/MJR
Proposal : DISCHARGE OF CONDITION 2 OF CONSERVATION AREA CONSEI
16/01818/MJR

Application Type: DOC
Decision : FDC
Decision Date : 14/01/2021

Application No : 21/00748/MJR
Proposal : DISCHARGE OF CONDITIONS 3 (ARCHITECTURAL DETAILS), 4
(WINDOWS AND INSET BALCONIES), 5 (MATERIALS), 6
(EXISTING OUTHOUSE/OFFICE BUILDING), 7 (BOUNDARY
TREATMENT), 8 (REFUSE STORAGE), 9 (FOOTWAY
IMPROVEMENTS), 10 (REAR ACCESS GATE/JUNCTION), 11
(GROUND GAS PROTECTION), 12 (CONTAMINATED LAND
MEASURES - ASSESSMENT), 13 (CONTAMINATED LAND
MEASURES - REMEDIATION AND VERIFICATION PLAN), 17
(IMPORTED AGGREGATES), 20 (AIR QUALITY ASSESSMEN
AND 21 ROAD TRAFFIC NOISE) OF 19/01956/MJR

Application Type: DOC
Decision : DEL
Decision Date :

4. **POLICY FRAMEWORK**

National Planning Policy

- Future Wales: The National Plan 2040 (2021)
- Planning Policy Wales (11th Ed, 2021)
- Technical Advice Note 12: Design
- Development Management Manual

Cardiff Local Development Plan 2006-2026 (2016)

- Policy KP5: Good Quality and Sustainable Design
- Policy KP8: Sustainable Transport
- Policy EN13: Air, Noise, Light Pollution and Contaminated Land
- Policy T5: Managing Transport Impacts
- Policy T6: Impact on transport Networks and Services

Supplementary Planning Guidance

- Green Infrastructure (2017)
- Managing Transportation Impacts (Incorporating Parking Standards) SPG 2018
- Residential Extensions and Alterations (2017)

Listed Building & Conservation Policies

- *The Planning (Listed Building and Conservation Areas) Act 1990*
- *Technical Advice Note 24: Historic Environment*
- *Policy KP17 (Built Heritage)*
- *Policy EN9 (Conservation of Historic Environment)*
- *Conservation Area Appraisal (Cathedral Road)*

5. INTERNAL CONSULTEE RESPONSES

- 5.1 The **Operational Manager, Transportation** advises *'The proposal would adjoin the rear lane, which is adopted highway. I don't see any specific transport concerns but they would need to liaise with our Network Management team in relation to works adjacent to the highway.'* (See recommendation attached.)
- 5.2 **Shared Regulatory Services (SRS) Environment Team (Noise)** comment:
'On review of the information submitted the applicant with advice from their specialist appear satisfied with the provision and limited risk of noise impact. It is likely the brick enclosure is capable of managing noise breakout, but at the weakest point (for breakout) there is no mention as to whether the black metal louvered doors are to be acoustically treated, and to what standard these will be. From what I have read the doors are facing residents towards Ryder St. Taking this into account, and for some assurances I would recommend a condition.' (See above attached condition.)
- 5.3 **Shared Regulatory Services (SRS) Environment Team (Land Quality)** request the inclusion of an informative statement in accordance with CIEH best practice and to ensure that the safety of future occupiers is not prejudiced in accordance with Policy EN13 of the Local Development Plan. (See recommendation attached.)

6. EXTERNAL CONSULTEE RESPONSES

- 6.1 None

7. REPRESENTATIONS

- 7.1 The application was publicised by press and site notices, and neighbours were consulted.
- 7.2 A **petition** of 53 signatures from neighbouring residents has been received objecting for the following reasons:
- We contend that the planning of the sub-station should have been an infrastructure consideration prior to submission of previous larger Cathedral Gardens planning application 19/01956/MJR and as such would have impacted the contentious design.
 - The detrimental effects to local residents include less green space, more noise and health and well-being effects due to EMFs.
 - There is great concern over the transparency of the design and application as it is noted within the design statement that it is required not just for Cathedral Gardens development but for 'pipeline' projects also.
- 7.3 Representations were received from 17 neighbouring owners/occupiers of addresses as follows: Nos. 2, 30, 32, 40, 42, 54 Ryder Street, 93 Fairleigh Road, 18, 21, 32 Talbot Street and Cardiff Civic Society. Their grounds for objection and concerns are summarised as follows:

Conservation/Amenity of area

- The amount of over-development there exists in this Conservation area.
- This is spoiling our community and the gorgeous Victorian houses of the area which are a credit to Cardiff.
- The proposal would place the new substation on land which was green-space within the development, the assurance of which space in the original plans was a clear environmental benefit; reducing that positive item rather than other elements (e.g. redesigning the development to place it on space that could be reclaimed by removing multiple parking-spaces allocated to each of the town houses - which are an unconscionable embarrassment in the light of our environment-focussed policies and against the desire of the council to limit car use).
- As part of the original planning application, the area now earmarked for the electricity substation was allocated as landscaped green space in an attempt at mitigating the negative impact a development of this size will have on the local community. This minor nod to the needs of the neighbourhood will disappear if the above amendment is approved.

Neighbour amenity

- The substation is seemingly pushed to the furthest corner of the site closer to our homes and small gardens rather than any of the developments' dwellings .
- Much was made during initial consultation phases of the landscaping in mitigation of the environmental impact of the new buildings to residents and surroundings However this is much reduced by putting a new build substation so close to Ryder Street residents.
- Buzzing and low frequency sound from the substation will have a detrimental effect on enjoyment of our garden and property (and for residents of the development). Low frequency noise can be experienced inside properties and be especially noticed at night, disrupting sleep and causing ill health.
- Can the sub-station be smaller or is it really needed?
- The next best outcome would be for the developers to place the substation centrally in their plans (ideally without eating green-space), and provide additional sound-insulation such that the sound and vibration is not discernible outside of the development complex and insulation from propagation of the field effects.

Health/safety

- No details submitted for the power and size of the transformers within the sub-station, estimates of the EMFs emitted and risk assessment for nearby buildings and gardens.
- EMF levels can be increased within 8 metres of a smaller distribution substation
- Proximity of substation to neighbouring gardens/properties SAGE (Strategic Advisory Group of Experts (World Health Organisation)) recommends:

Reasonably practicable efforts be made to site substations distant from homes etc.

- Conflicting information on the science behind this but when there is publications showing statistical risk between EMF's and childhood leukaemia I'm sure you can empathise that you don't want to put your children under any un-necessary risk. SAGE and government guidance recognise this and state that a precautionary approach should be taken to EMF's.
- Can a method of screening be used to mitigate risk to the public for example?
- Are there other designs that can be considered? The government code of practise on EMFs reconciles that a precautionary approach should be used with regards to EMFs and that it is encouraged that sub-stations should be sited away from homes.
- Increasing the risk based on pipeline projects which have not been approved is not a precautionary approach and is not sufficient to allow the planning approval.
- Substations pose a fire risk which is more pertinent for us than residents of the new build, since the substation is located so close to our properties which back onto the rear lane.

Procedure / Other concerns

- Should have been considered in the context of the original proposal, that original proposal should be re-evaluated.
- Amendments to the initial application, either to remove infrastructure originally approved, or to add elements that had been left but would inconvenience neighbours, should be discouraged rather than waved through without good explanation.
- If the original proposal is now shown to push requirements on local resources beyond what can be supported, admitting the change at this late stage would be allowing that those original concerns were ignored on baseless grounds, which would not sit well with the respect in which the public of Cardiff hold both the council and responsible developers.
- Solutions in order of preference - assuming there is no alternative the developers have failed to consider: 1. No substation. 2. Reduce the size of the development in order to make it commensurate with current electrical supply infrastructure. 3. Place the substation as part of wider local infrastructure planning in another location further away from any residents (including those in the new development). 4. If not 1, 2 or 3 then move the proposed substation further inside the development boundary and away from the rear wall, redesigning areas if necessary.
- It puts residents at a disadvantage and risks making the amendment a 'fait accompli'.
- If for wider community then consultation should've been wider, rather than being tacked onto a private development?
- If there are other developments 'in the pipeline', should these not be made clear at this stage? Especially if the community is expected to assess this amendment on its merits and some neighbours to endure its more

immediate impacts for some the future benefit of other developers/developments. This is inequitable."

- The developer has failed to consult. Despite the fact that hundreds of people opposed this development, only two letters have been issued in relation to this amendment.
- No transparency over the sizing requirements for the sub-station with regards to Cathedral Gardens development versus future pipeline projects.
- Presumably, use or leasing of the land upon which the substation is built poses a financial offset to other considerations (e.g. community contributions) and should have been included in the initial proposal.
- If the perceived need is for charging points for electric cars and scooters (which certainly will be needed locally in the future) is it really appropriate to locate it in a corner of a residential setting and in so doing displace what were supposed to be amenities that would ameliorate the loss of green space?
- If there are now concerns regarding electrical infrastructure what about drainage and sewerage facilities. Will these need additional works?
- Sets an undesirable precedent for this and other developments in Cardiff.

7.4 **Andrew RT Davies MS** has written in on behalf of his constituents expressing concerns:

- Loss of open space on the new development - there is a small amount of on-site open space as part of 19/01956/MJR and this application would reduce the amenity for new occupiers.
- Potential for continual low frequency noise which will disturb nearby occupiers and neighbours both on Cathedral Road and Ryder Street.
- Concerns have also been expressed over the safety of emissions from the substation in the proposed location.
- There is also real disappointment from many residents that the requirements for an electricity substation were not included as part of planning application 19/01956/MJR.
- I hope that the objections of constituents can be considered by the planning committee.

7.5 **Cllr Iona Gordon and Cllr Singh** note that there is a petition of objection to this planning application to site a new electricity sub-station on the Cathedral Gardens site. Clearly the utility will have to be provided but please could you let us know why this was not planned into the development from the start off. The development is being very criticised for its style and massing and this late application, for an essential service, is distressing for our residents who are having to cope with the noise and disruption of the development as it progresses on site.

8. **ANALYSIS**

8.1 This application seeks permission for the siting of a WPD substation to the rear of the development site for which approval was granted under planning permission 19/01956/MJR. This application has been submitted as a standalone application and not as an amendment to the original planning permission, this being a legitimate approach consistent with the processing of a previous application for

similar development. It is not within the remits of this application to re-assess the previously approved development. The material matters for consideration of the proposed substation would be the same as those had they been considered as an amendment to the main planning consent and are considered, in turn, below:

Conservation / amenity of area

- 8.2 The substation enclosure would not be prominently sited and is appropriately designed and detailed to match the existing detached office building sited to the west of the site on Talbot Street. It is considered that the overall integrity and character of the boundary would remain. The design is considerably more sensitive than a standard WPD enclosure. As such, it is considered that the character of the Cathedral Road Conservation Area would be preserved and Policies KP5 and EN9 are complied with.
- 8.3 The proposed substation would occupy an area of 16 square metres of the southern corner of the development site. Minor alterations to landscaping proposed under planning permission 19/01956/MJR will be required to move a proposed tree in order to accommodate the substation, which will be considered through a separate application.

Neighbour / residential amenity

- 8.4 In terms of the scale of the structure, its design and siting to the southern corner of the Cathedral Gardens site, it is considered that the proposal would not be overbearing or generally un-neighbourly which would justify concern for the Local Planning Authority. The proposal is sited to the north east of neighbouring properties on Ryder Street, and would be separated from them by the width of the rear lane, a distance of approximately 3.6 metres.
- 8.5 With regard to concern of noise generated from the substation and its impact on the amenity of neighbouring residents, the agent has confirmed that all Distribution Network Operator (DNO) transformers operate at low noise. In addition to this the transformer's feet sit on rubber mats to insulate it from the ground so the sound is isolated at source. There is also a requirement that WPD substations must be a minimum of 5m away from any bedroom windows, which is the case. SRS Environment Team (Noise) are content that with a condition imposed, any noise level breakout does not exceed a certain threshold as a precautionary measure to safeguard the amenity of neighbouring residents.

Health / safety

- 8.6 The agent has provided additional information that relates to concern of neighbouring residents in respect of the safety of the substation and electric and magnetic fields (EMFs). An extract from the document 'Electric and Magnetic Fields produced by the Energy Networks Association – June 2013' states that:

'Small electricity distribution substations, typically one for every few hundred homes, generally produce up to 2 microteslas close to their perimeter fence (or occasionally more if built into another building), and often no electric field at all.'

The fields fall rapidly with distance, and within 1 to 2 metres from a typical substation, the fields associated with it are usually indistinguishable from other fields present in homes. Larger electricity transmission substations do not produce very large fields themselves (generally less than a microtesla); the fields close by are mainly produced by power lines and cables entering them. There is no restriction on EMF grounds on how close houses can be to substations.'

- 8.7 Given that the proposed substation is a standard WPD installation, the Local Planning Authority raises no concern. WPD have their statutory duties which are not considered under the remits of the planning system.
- 8.8 With regard to concern raised over the fire risk of the substation, while it is noted that this is not a material planning consideration, the substation is separated from the neighbouring residential properties by the rear lane and constructed in accordance with relevant legislation that would include various issues as fire safety and security.

Highways

- 8.9 The proposal is located adjacent to the public highway. There are no specific concerns raised in terms of the impact on the transport network but the applicant would need to liaise with the Network Management team in relation to works adjacent to the highway. Accordingly, an advisory note is attached.

Other matters

- 8.10 In respect of publication of the application for the proposed development, the LPA has undertaken direct neighbour consultation with those that are located closest to the application site and a site notice has been erected, advertising the proposal to the wider community. The level of publicity for this minor planning application is different to that for the major planning application (reference 19/01956/MJR) given the approach of the LPA to consider all applications proportionately and reasonably. It is noted that consultation by the developer of this application is not regulated by LPA.
- 8.11 Reference to other development was made by WPD, to the agent, who cited the increase in demand from other developments in the area, identified subsequent to the processing of the planning application 19/01956/MNR. Since WPD only provide a range of substations to certain sizes and not tailor-made to suit specific sites, it is likely that there will be spare capacity in this installation. It will be added to WPD's network of assets in the area. It is not within the remits of the LPA to be involved with who will incur the costs of such infrastructure.
- 8.12 No proposal has been forward to confirm that the substation will in the future provide for charging points for electric cars and scooters.
- 8.13 The proposed substation has been considered on its own planning merits therefore it cannot set precedent for other developments in Cardiff
- 8.14 In respect of the need for additional drainage and sewerage facilities, this has been

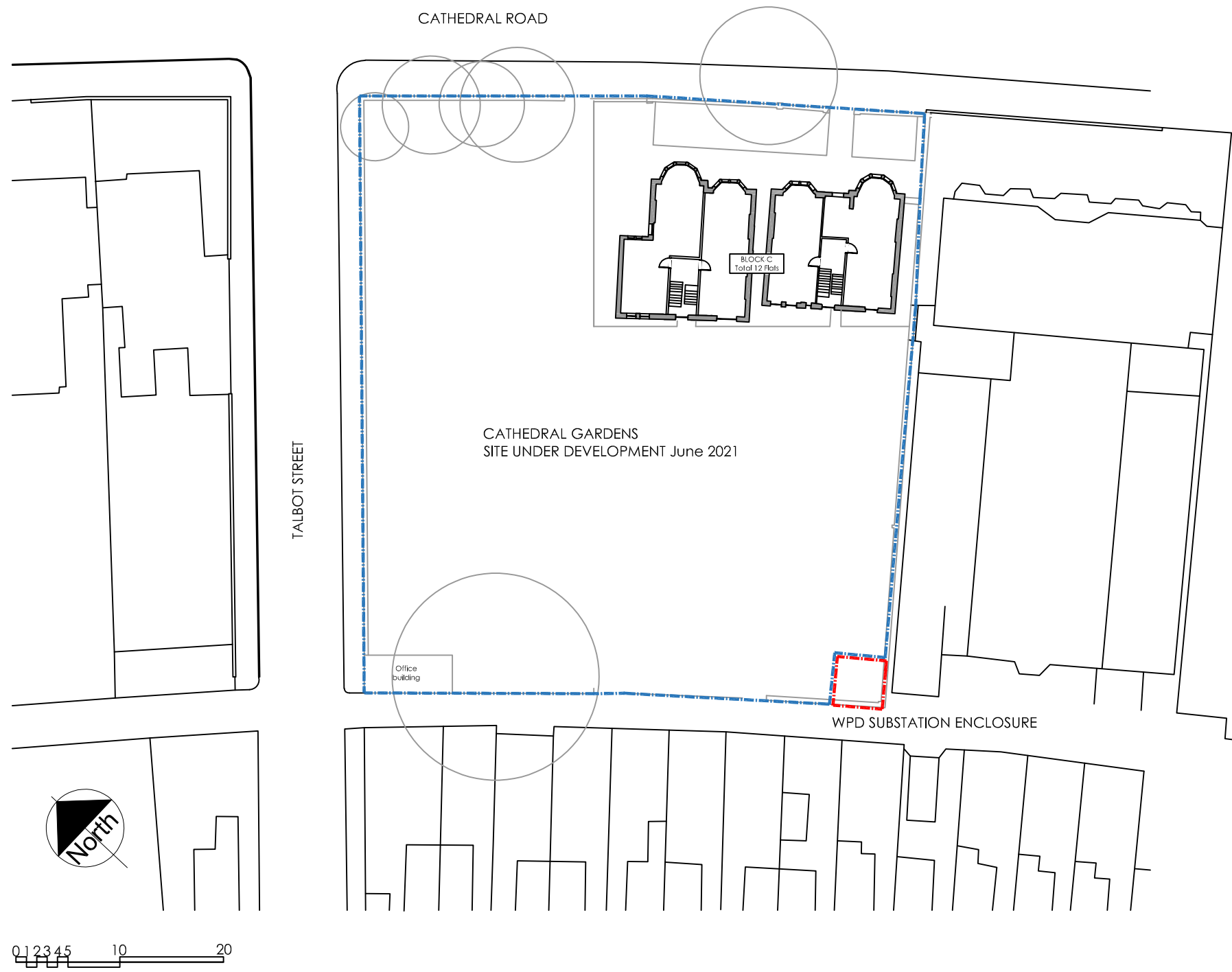
considered within planning permission 19/01956/MJR.

9. **OTHER CONSIDERATIONS**

- 9.1 Crime and Disorder Act 1998 – Section 17(1) of the Crime and Disorder Act 1998 imposes duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.
- 9.2 Equality Act 2010 – The Equality Act 2010 identifies a number of ‘protected characteristics’, namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. The Council’s duty under the above Act has been given due consideration in the determination of this application. It is considered that the proposed development does not have any significant implications for, or effect on, persons who share a protected characteristic.
- 9.3 Well-Being of Future Generations Act 2016 – Section 3 of this Act imposes a duty on public bodies to carry out sustainable development in accordance with the sustainable development principle to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (Section 5). This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable impact upon the achievement of wellbeing objectives as a result of the recommended decision.

10. **RECOMMENDATION**

- 10.1 The Council is mindful of the concerns raised by the objectors and the petition submitted in respect of this application.
- 10.2 This application relates only to the erection of a stand-alone substation and is not an amendment to the original planning permission to redevelop the site. Nor is it within the remits of this planning application to re-assess the previously approved residential development.
- 10.3 Having regard to the policy context and material matters raised, the proposal is considered acceptable and planning permission is recommended subject to conditions.



rev note date

Greyfriars House, Greyfriars Road, Cardiff CF10 3AL
T: 029 2022 6757

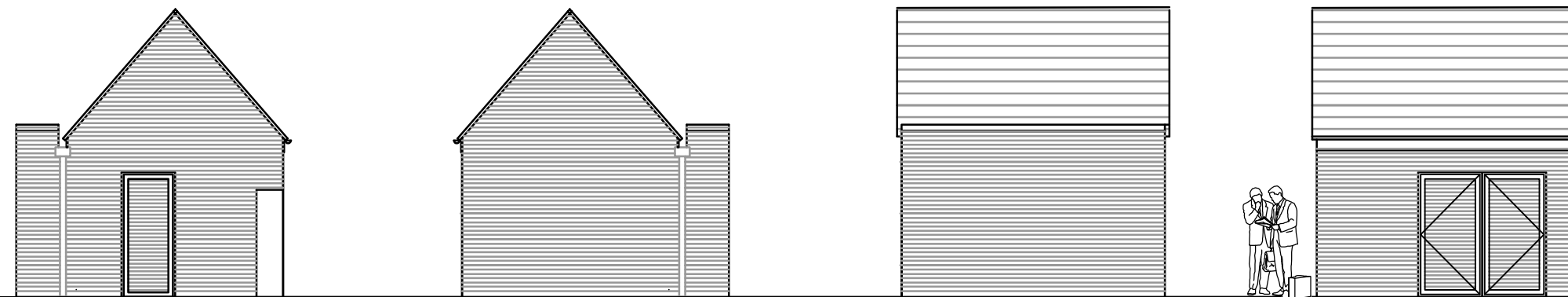
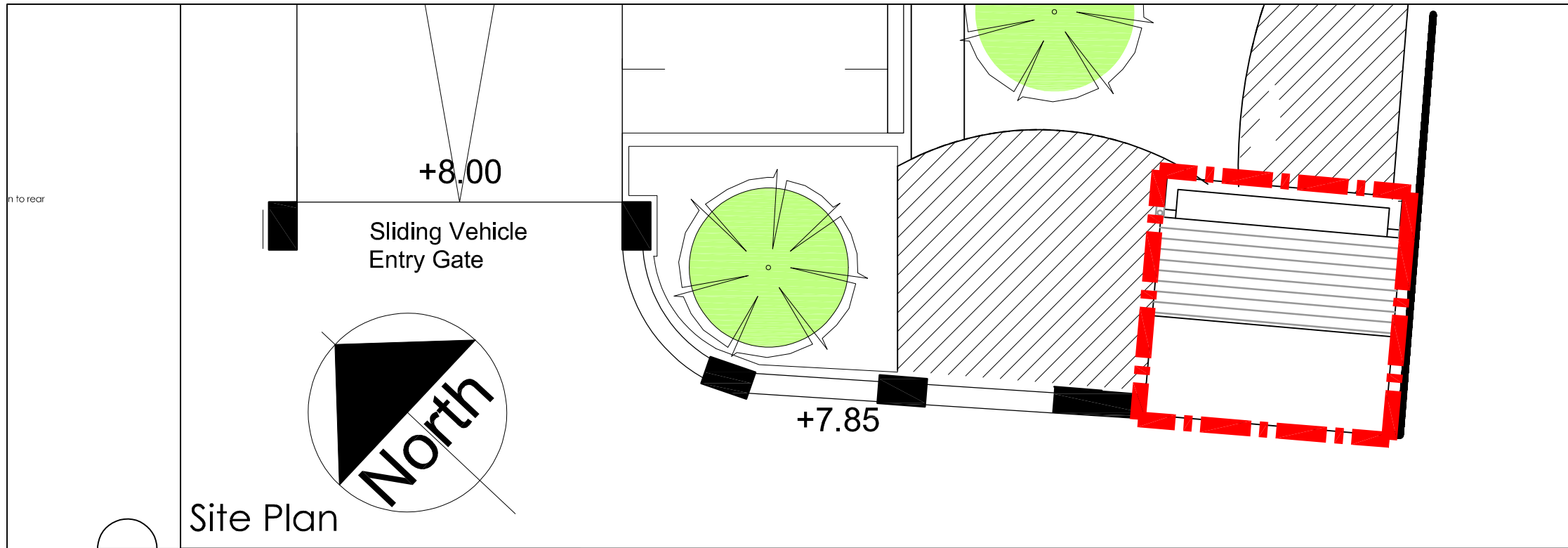
JOHN WOTTON ARCHITECTS
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W: www.johnwottonarchitects.com

Cathedral Gardens Ltd

**Cathedral Gardens
CARDIFF**

title
WPD Substation Location Plan

job no.	drg no.	rev
267	PP 2000	
scale	date	drawn by
1:500@A3	04.06.21	JW
	checked by	



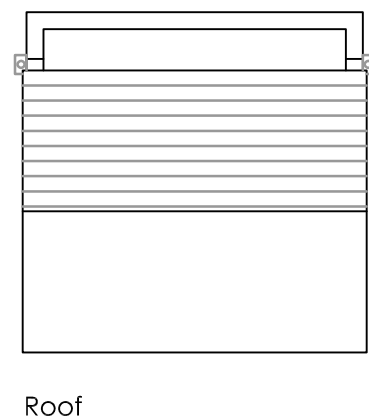
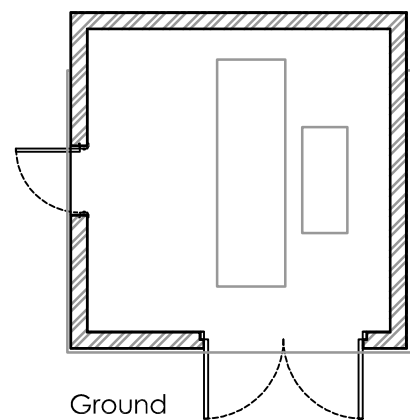
North - West

South East

North East

South West

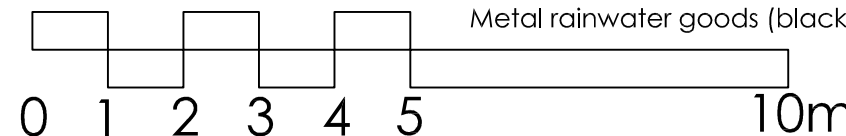
Proposed elevations



- MATERIALS:**
 Clay roof tiles to match adjacent
 Red brick to match adjacent
 Flemish bond
 Metal louvred doors (black)
 Painted timber fascias (black)
 Metal rainwater goods (black)



Proposed plans



A	Bin store and bi-fold garage door added	27/11/19
rev	note	date

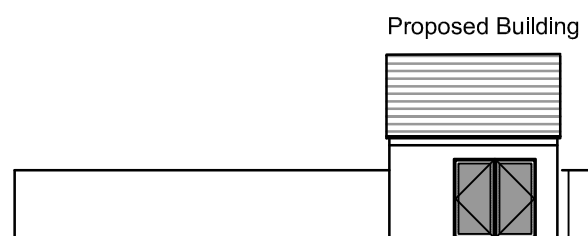
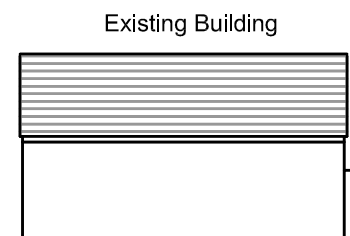
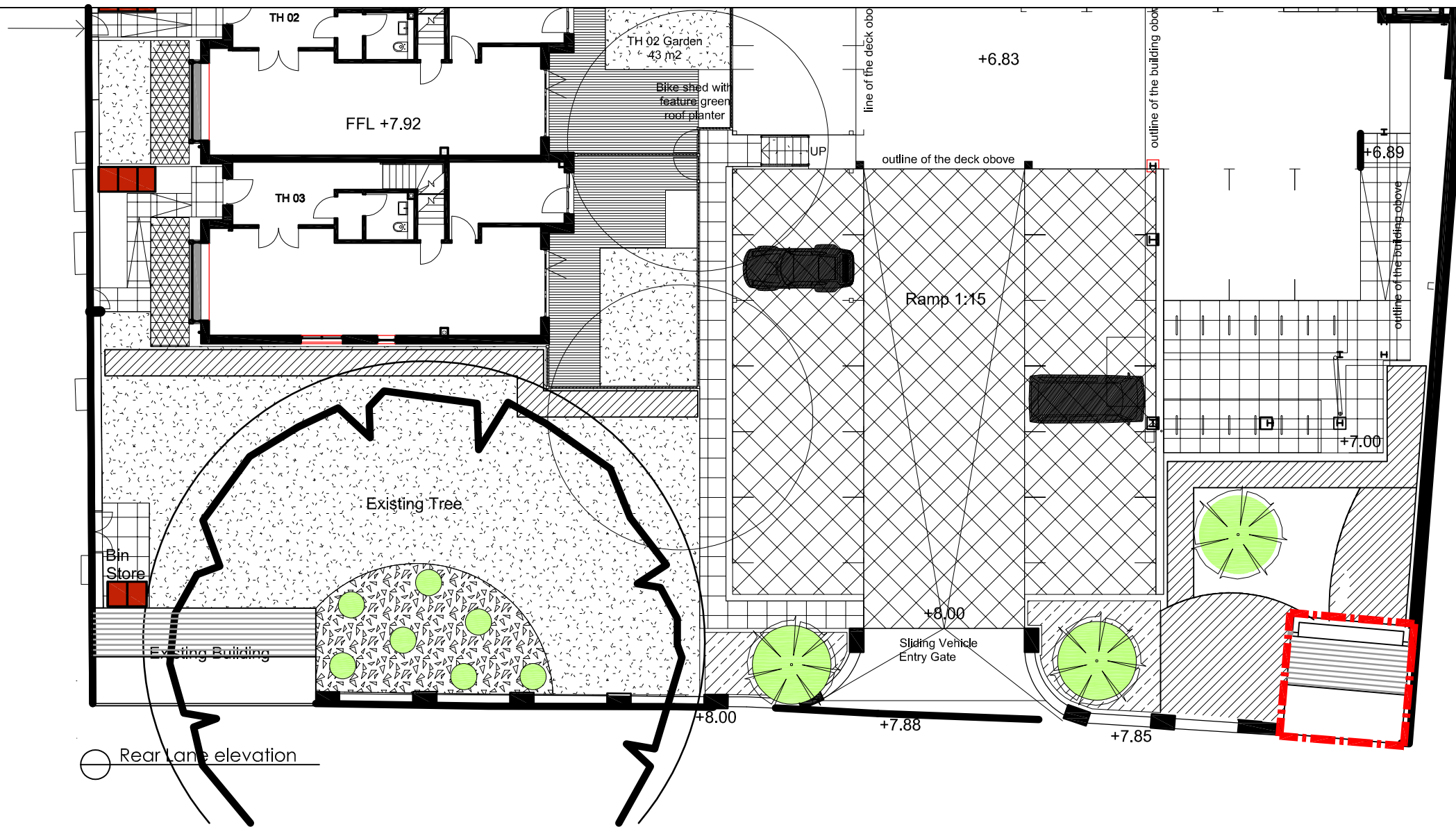
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Cathedral Gardens Ltd

**Cathedral Gardens
 CARDIFF**

title
Proposed WPD Substation

job no.	drg no.	rev
267	PP 2001	
scale	date	drawn by
1:100@A3	06.06.21	JW
	checked by	



A Bin store and bi-fold garage door added 27/11/19
 rev note date

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Cathedral Gardens Ltd

**Cathedral Gardens
 CARDIFF**

title
Proposed WPD Substation

job no.	drg no.	rev
267	PP 2002	
scale	date	drawn by
1:200@A3	06.06.21	JW
	checked by	

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PETITION AND LOCAL MEMBER OBJECTION

COMMITTEE DATE: 18/08/2021

APPLICATION No. **21/00262/DCH** APPLICATION DATE: 04/02/2021ED: **WHITCHURCH/TONGWYNLAIS**

APP: TYPE: Householder Planning Permission

APPLICANT: Mr Peteren

LOCATION: 12 CAEGWYN ROAD, WHITCHURCH, CARDIFF, CF14 1QL

PROPOSAL: REAR GROUND AND FIRST FLOOR EXTENSIONS, ADDITION OF VERANDA TO FRONT ELEVATION IN PLACE OF EXISTING PORCH, SIDE EXTENSION FORMING GARAGE, AND EXTENSION AND ALTERATIONS TO EXISTING FRONT DORMER EXTENSIONS

RECOMMENDATION : That planning permission be **GRANTED** subject to the following conditions :

1. C01 Statutory Time Limit
2. The development shall be carried out in accordance with the following approved plans and details:
 - 139-JKA-ZZ-ZZ-DR-A-PL03E – PROPOSED SITE PLAN
 - 139-JKA-ZZ-ZZ-DR-A-PL06C – PROPOSED GROUND FLOOR PLAN
 - 139-JKA-ZZ-ZZ-DR-A-PL07B – PROPOSED FIRST FLOOR PLAN
 - 139-JKA-ZZ-ZZ-DR-A-PL08B – EXISTING AND PROPOSED FRONT ELEVATION
 - 139-JKA-ZZ-ZZ-DR-A-PL09B – EXISTING AND PROPOSED SIDE ELEVATION (SOUTH)
 - 139-JKA-ZZ-ZZ-DR-A-PL10B – EXISTING AND PROPOSED REAR ELEVATION (EAST)
 - 139-JKA-ZZ-ZZ-DR-A-PL11B – EXISTING AND PROPOSED SIDE ELEVATION (NORTH)
 - 139-JKA-ZZ-ZZ-DR-A-PL14 – REAR BOUNDARY CONDITION
 - 139-JKA-ZZ-ZZ-DR-A-PL15 – SIDE BOUNDARY CONDITION

Reason: To ensure satisfactory completion of the development and for the avoidance of doubt in line with the aims of Planning Policy Wales to promote an efficient planning system.

3. No development shall take place until full details of all proposed tree planting at the front and rear of the property has been submitted to and approved in writing by the Local Planning Authority (LPA). These details shall include schedules of species, sizes, numbers or densities; topsoil and

subsoil specification; the methods of planting, staking, anchorage, protection, mulching and aftercare and an implementation programme. Unless otherwise agreed in writing with the LPA, the tree planting shall be carried out in accordance with those details and at those times.

Reason: To maintain and improve the appearance of the area in the interests of visual amenity.

4. Any newly planted trees, plants or hedgerows, which within a period of 5 years from the completion of the development die, are removed, become seriously damaged or diseased, or in the opinion of the Local Planning Authority (LPA) otherwise defective, shall be replaced. Replacement planting shall take place during the first available planting season, to the same specification approved in discharge of condition 3, unless the Local Planning Authority gives written consent to any variation.

Reason: To maintain and improve the amenity and environmental value of the area

5. No development shall take place until the following have been submitted to and approved in writing by the Local Planning Authority (LPA) in accordance with the current British Standard 5837:

- An Arboricultural Method Statement (AMS) detailing the methods to be used to prevent loss of or damage to retained trees within and bounding the site, and existing structural planting or areas designated for new structural planting. The AMS shall include details of site monitoring of tree protection and tree condition by a qualified arboriculturist, undertaken throughout the development and after its completion, to monitor tree condition. This shall include the preparation of a chronological programme for site monitoring and production of site reports, to be sent to the LPA during the different phases of development and demonstrating how the approved tree protection measures have been complied with.
- A Tree Protection Plan (TPP) in the form of a scale drawing showing the finalised layout and the tree and landscaping protection methods detailed in the AMS that can be shown graphically. Unless written consent is obtained from the LPA, the development shall be carried out in full conformity with the approved AMS and TPP.

Reason: To enable the Local Planning Authority to assess the effects of the proposals on existing trees and landscape; the measures for their protection; to monitor compliance and to make good losses.

6. Any pruning necessary to implement the planning permission shall be undertaken in accordance with British Standard 3998: 2010 'Tree Work' or any Standard that replaces it.

Reason: The trees are of value in the local environment and should be protected and maintained in good condition.

7. The first floor 'LANDING' window and door on the northern elevation of the

rear extension shall be glazed with obscure glass and non-opening below a height of 1.8 metres above internal floor level and thereafter be so maintained.

Reason : To ensure that the privacy of adjoining occupiers is protected in accordance with Policy KP5 of the Cardiff Local Development Plan 2006-2026.

8. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (Amendment) (Wales) Order 2013 (or any Order amending, revoking or re-enacting that Order) no windows shall be inserted in any wall in the north or south facing elevations other than those windows hereby approved.

Reason : To ensure that the privacy of adjoining occupiers is protected in accordance with Policy KP5 of the Cardiff Local Development Plan 2006-2026.

9. There shall be no first floor maintenance access door permitted as part of the development which would enable access from the landing out onto the roof area of the rear extension.

Reason : To ensure that the privacy of adjoining occupiers is protected in accordance with Policy KP5 of the Cardiff Local Development Plan 2006-2026.

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

- 1.1 Planning permission is sought for the redevelopment of a bungalow at 12 Caegwyn Road, Whitchurch. The proposal involves a single-storey side extension located between the existing house and its northern site boundary. To the rear of the dwelling, a single and two-storey extension is proposed. The single-storey element will have a flat roof. The two-storey portion will have a gable end feature extending out from the rear of the existing roof. This will not exceed the ridge height of the dwelling. Beside the gable, a box shaped element is proposed in the centre of the property. Changes to the front of the dwelling include an open verandah and alterations to the three existing dormer windows.
- 1.2 The application as initially lodged included a two-storey extension at the side and rear of the north side of the property. Following receipt of objections, this scheme was amended and the layout of the rear extension was flipped, with the two-storey element moved to the south side. The altered proposal was then re-consulted on.
- 1.3 Following discussion by the Planning Service's Design Review group, feedback was provided to the agent regarding overlooking from rear facing windows. Further alterations were made to the proposed plans moving the first floor bedroom and its window away from the rear boundary, and these amendments were also re-consulted on.

2. **DESCRIPTION OF SITE**

- 2.1 The application relates to a single-storey detached chalet bungalow located within

a residential area in Whitchurch. The property is centrally located on a large site and contains significant planting including a protected Sawara cypress located beside the house and unprotected Lawson cypress sited on the front boundary of the plot. There is a detached garage located on the northern side boundary of the property which is to be demolished.

2.2 The applicant has commenced work on the property in preparation for the redevelopment work. The house has been stripped-out and some internal strengthening work undertaken. Additionally, some established planting has been removed from the site along with preparatory earthworks at the side and rear of the house. Limited pruning work has been undertaken on the protected cypress with the approval of the Council's Tree Officer.

2.3 The property is not listed for protection, nor is it located in a conservation area.

2.4 The property is located in an area containing detached bungalows and two-storey dwellings of a variety of forms and ages.

3. **SITE HISTORY**

3.1 No planning history found for this site.

4. **POLICY FRAMEWORK**

4.1 The site lies within a residential area as defined by the proposals map of the Cardiff Local Development Plan 2016.

4.2 Relevant National Planning Guidance:

- Future Wales: The National Plan 2040 (2021)
- Planning Policy Wales (Edition 11, 2021)
- Planning Policy Wales TAN 12: Design

4.3 Relevant Cardiff Local Development Plan Policies:

- Policy KP5: Good Quality and Sustainable Design
- Policy EN8: Trees, Woodlands and Hedgerows

4.5 Relevant Supplementary Planning Guidance:

- Residential Extensions & Alterations (June 2017)

5. **INTERNAL CONSULTEE RESPONSES**

5.1 Council's Tree Officer has viewed the application and considered the Arboricultural Impact Assessment which was requested. He concurred with its findings that a new tree should be planted on the site frontage to compensate for the removal of the Lawson cypress and has recommended the imposition of a number of conditions of approval.

6. **EXTERNAL CONSULTEE RESPONSES**

6.1 None

7. **REPRESENTATIONS**

7.1 Neighbours at 10 Caegwyn Road and 2, 2A, 4, 6 and 10 Greenclose Road were notified of the proposed development.

7.2 Objections were initially received on the application from the occupiers of 2, 2A and 4 Greenclose Road. One representation, neither in support or opposition to the proposal was also received from the occupier of 10 Caegwyn Road.

7.3 The subsequent alterations to the proposal which have been re-consulted on attracted further representations from the occupiers of 2, 2A and 4 Greenclose Road. Concerns raised by the objectors included:

- Plans provided considered inaccurate
- Proposal an overdevelopment of the site
- Design considered visually intrusive and overbearing
- Development uncharacteristic in the area
- Proposal does not meet planning guidelines
- Rear garden area inadequate
- Adverse impact on protected trees
- First floor windows will overlook neighbouring properties and obscure glazing required
- Impact on the public sewer
- Impacts on sewage capacity
- Loss of vegetation
- Impact on retaining wall at rear of 2 and 2A Greenclose Road
- Effects on hedge at the rear of 2A Greenclose Road
- Impact on outlook from rear of dwelling at 2A Greenclose Road
- Overshadowing and loss of light to adjoining properties
- Safety concerns for vehicles reversing onto Caegwyn Road
- The proposed expansion of house beyond its existing footprint and the precedent set by historical planning approvals for adjoining properties

7.4 One representation was received from Councillor Linda Morgan on the amended proposal. She considered the changes made did not satisfactorily meet the concerns of neighbours. The Councillor considered that the proposed development was unneighbourly; overbearing; would overshadow and cause a loss of privacy; and be detrimental to the amenities currently enjoyed by the neighbours. She also felt that the application did not represent the existing physical environment.

7.5 A petition in opposition to the proposed development contains 64 signatures and raises the following concerns:

- 'Submitted drawings contain unresolved inaccuracies that minimise the impact on neighbouring properties and fail to address material objections raised through three public consultations.
- Proposed development contravenes multiple specific Planning Guidelines and precedents established by previous planning decisions by Cardiff Council.
- Proposed development will have a detrimental impact on the privacy and amenity enjoyed by neighbouring residents from their adjacent properties, and the neighbouring street scene'.

7.6 In response to issues raised by objectors and also by the petition, the agent provided further information and plans detailing cross sections with the adjoining property and shadowing diagrams. These details were re-notified and attracted two further objections from the occupiers of 2 and 2A Greenclose Road. Both objectors considered the further information did nothing or little to address the issues raised and repeated their concerns which are listed in Paragraph 5.3 of this report. Other concerns and matters raised include:

- Amended drawings contain little change apart from acknowledging the difference in ground levels between properties.
- Question the value of the shading diagrams and seek further information on shadowing effects.
- Concerns over boundary wall construction and maintenance.
- Suggest side extension should project no further forward than the existing front elevation of the dwelling.
- Suggest that side extension should be set back 0.6 to 1.0m from common boundary with 2A Greenclose Road to reduce its visual impact and enable future maintenance of the side facing wall.

8. **ANALYSIS**

8.1 The key issues for consideration with this application are the effect of the proposal upon character and appearance of the area, the living conditions and amenity of neighbours and its impact on a protected tree.

8.2 In assessing the impact of the proposed development, the proposal should be considered against Policy KP5 of the Cardiff Local Development Plan which states that:

'all new development will be required to be of a high quality, sustainable design and make a positive contribution to the creation of distinctive communities, places and spaces by:

- i. Responding to the local character and context of the built and landscape setting so that layout, scale, form, massing, height, density, colour, materials, detailing and impact on the built and natural environment are all addressed within development proposal; and*
- x. Ensuring no undue effect on the amenity of neighbouring occupiers.*

8.3 Advice on residential extensions is contained in the Council's Supplementary Planning Guidance (SPG) on Residential Extensions and Alterations (2017). This guidance notes that all alterations and additions to a property should relate well to

the character and context of the surrounding area and should be sympathetic in terms of scale, positioning, detailing and materials to ensure that the development results in a balanced appearance and fits comfortably into the wider street scene

- 8.4 The SPG notes that extensions should not be overbearing or result in an unacceptable loss of daylight or sunlight to neighbouring properties.
- 8.5 The SPG states that side extensions should be appropriate to the existing house in terms of their scale, form and finish and should fit easily within the street scene. Materials and window detailing should match or complement the existing house and developments should avoid blank elevations where they front the highway.
- 8.6 It is also recommended that side extensions are set in from the neighbouring boundary to ensure that the street scene does not appear cramped and also prevent a terracing effect should the adjoining property be extended.
- 8.7 Rear extensions have the potential to impact on the daylight and outlook of neighbours. At paragraph 7.2 of the SPG, it notes that such extensions should be subordinate to the original dwelling and new developments should consider impact on trees on or adjacent to the application site.
- 8.8 The SPG advises that extensions to the front of a property can have a significant impact on the character of the neighbourhood. They can change the overall architectural character and emphasis of a property and can impact on features such as bay windows or decorative entrances.
- 8.9 The SPG notes that dormer windows should not dominate the original house and should look as though they were designed as part of the original roof of a dwelling. Dormer extensions should appear subservient to the original dwelling/roof and relate well to the existing roof through the use of materials. The window should fill the majority of the front of the dormer in order to limit the use of surrounding cladding materials and finishing materials should respond to those of the original dwelling.

CHARACTER AND APPEARANCE

- 8.10 The property is located within an attractive residential neighbourhood containing a range of dwellings of different ages on well landscaped sites. There is no dominant house type or style. The area contains a number of examples of new dwellings along with other redeveloped properties.
- 8.11 The chalet bungalow is in its original form with a pitched and hipped roof. It has a centrally located gable feature with a window at first floor and two dormer windows either side.
- 8.12 The proposed scheme successfully sees the retention of the bungalow's scale and form as viewed from the public realm. The proposed dormer alterations are of an appropriate design and scale, and relate well to the character and appearance of the dwelling. The proposed verandah addition sympathetically encloses the principal elevation of the property, without adversely impacting on any of its

architectural features. Overall, it is considered that the changes to the front of the chalet bungalow will maintain its architectural character.

LIVING CONDITIONS

- 8.13 The proposed changes at the side of the dwelling include a garage/workshop which tapers in width from front to rear. This extension would project to 150mm from the northern boundary with Nos. 2 and 2A Greenclose Road. The application property is at a lower level than the neighbouring plots (approximately 0.86m), reducing its visual impact. This common boundary will need to be structurally retained as part of the building works.
- 8.14 The submitted plans show the garage will extend no further than the rear elevation of the original host dwelling. It will have a flat roof at the rear and a low 20 degree pitched and hipped roof at the front where it joins the proposed verandah. Its low form and scale, which spans across the rear boundaries of the two adjoining properties will ensure an acceptable design outcome. It will not appear dominant or overbearing or result in the loss of daylight or sunlight for neighbours.
- 8.15 The rear portion of the proposal has been altered during the processing of this planning application in response to concerns raised by neighbours. A single-storey element with flat roof projects from the rear of the host building. The two-storey component has been moved towards the southern side boundary and the first-floor bedroom window moved away from the rear boundary to avoid any significant overlooking of private gardens to the east.
- 8.16 The agent has provided solar studies indicating that the winter shadow cast by the proposed development on properties to the north will be little different to the current situation. The two-storey element of the development is sited well away from the common boundary with 2 and 2A Greenclose Road. Given this, it should have no appreciable impact on daylight or sunlight admission to those properties.
- 8.17 Concerns have been raised regarding possible overlooking and loss of privacy for occupants of properties to the north. It is noted that a single window and door are proposed for the north facing elevation of the proposal. These both are located on the first floor landing and while shown as finished in obscure glass would not be fixed. In order to prevent possible overlooking from this location, it is recommended that a condition be imposed requiring that the window be non-openable above 1.8m when measured from floor level. Furthermore, in order to avoid any possible use of the flat roof area for outdoor living, the maintenance door should be removed. Any future maintenance access to the roof can be achieved from a ladder.
- 8.18 The rear extension will leave an adequately sized private open space for the future occupiers of the house. This area is to be terraced and landscaped, and a row of trees planted along the rear boundary of the site to screen the property from adjoining properties. The proposal has been setback from the southern boundary of the site ensuring that pedestrian access to the rear garden remains available.

- 8.19 The proposed rear extension has been sensitively designed to minimise its impact on neighbours. It is not considered to be overbearing or of a form or scale that will adversely impact on daylight or outlook, particularly for No. 10 Caegwyn Road which is located to the south of the property.
- 8.20 Overall, it is considered that the development will not have any detrimental impacts on adjoining properties and will maintain current amenity values.

PROTECTED TREE

- 8.21 Council's Tree Officer has found that the development will have no significant impacts on the health of the protected Sawara cypress which is located at the front of the property. He has requested planning conditions to ensure that the building works are suitably undertaken and measures imposed to protect the tree from damage. He has also requested replacement tree planting to compensate for the loss of the Lawson cypress which may need to be removed to improve access to the property. These matters are covered by the recommended conditions of consent above.

OTHER MATTERS

- 8.22 In regards to comments made by neighbours and raised in the petition which are not covered above, the following should be noted:
- Following a site inspection by the case officer, the submitted plans have been found to be accurate and reliable. It should be noted that there is no legislative requirement on the applicant to provide details of the location of buildings and other features on adjoining properties with a planning application. These have been provided by the architect to give context to the proposal.
 - The agent has indicated that shadows on elevations are drawn in line with standard drawing conventions from the top right at 45 degrees. This is to illustrate depth on a façade and not representative of true shadows or be treated as a solar study.
 - Building over public sewers is not a material consideration. Permission for such work will be required from Welsh Water.
 - The impact of the development on sewage capacity is not a material planning consideration.
 - The property possesses an existing vehicle crossover onto Caegwyn Road. There is no planning requirement for on-site manoeuvring and vehicles should enter and exit the site in a safe manner.
 - The proposed rebuilding of any retaining wall and any new building close to common boundaries is a party wall matter. This will require a Party Wall Notice and Agreement under the Party Wall Act.
 - Access to and across a neighbour's property to undertake building works will require a Notice under the Party Wall Act.
 - Any effects that the development may have on vegetation on adjoining sites is a civil matter. The applicant is under no obligation to comply with requirements of another person's planning permission. In this instance, the hedge referred to is on an adjoining property.

- Every planning application is considered on its merits in terms of relevant policies and planning guidelines. There is no legal precedent set for development, as each proposal is materially unique and must be considered having regard to the specific circumstances and context of an application.

9. **CONCLUSION**

- 9.1 In conclusion, it is not considered that the development would cause any adverse harm to the street scene or character of the area. The application site can successfully accommodate the proposed changes while maintaining the existing character of the property. The development is considered to be an appropriate alteration to the existing house in terms of its scale, form and finish and will form a sympathetic change.
- 9.2 Subject to the imposition of suitable conditions to mitigate any adverse effects, the development should have no unacceptable impacts on the living conditions of neighbouring residents.

10. **OTHER CONSIDERATIONS**

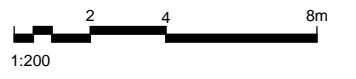
- 10.1 **Crime and Disorder Act 1998** – Section 17(1) of the Crime and Disorder Act 1998 imposes a duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.
- 10.2 **Equality Act 2010** – The Equality Act 2010 identifies a number of ‘protected characteristics’, namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. The Council’s duty under the above Act has been given due consideration in the determination of this application. It is considered that the proposed development does not have any significant implications for, or effect on, persons who share a protected characteristic.
- 10.3 **Well-Being of Future Generations Act 2015** – Section 3 of this Act imposes a duty on public bodies to carry out sustainable development in accordance with the sustainable development principle to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (Section 5). This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable impact upon the achievement of wellbeing objectives as a result of the recommended decision.

11. **RECOMMENDATION**

- 11.1 Having regard to the policy context above, the proposal is considered acceptable and planning permission is recommended subject to conditions.



REFERENCE



General Notes

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 Contractors must ensure that cross referenced drawings and specifications noted on these drawings are checked on a regular basis to ensure that the latest revisions are used.

D	SCALE BAR CORRECTED	JK	15/07/21
C	REAR BOUNDARY CONDITION UPDATED FOLLOWING SITE CLEARING AND PROPOSAL AMMENDED	JK	27/04/21
B	TREE REMOVED	JK	12/02/21
A	ADDITIONAL LANDSCAPE INFORMATION ADDED	JK	11/02/21
-	FIRST ISSUE - PLANNING	JK	02/02/21
REV	DESCRIPTION	CHK	DATE

JAMES KING ARCHITECTS LTD
 CN 11235210
 59 HEOL Y NANT
 CARDIFF
 CF14 6BT



CLIENT
MIKE PETERSEN

PROJECT
REAR EXTENSION & REMODEL

DRAWING
EXISTING SITE PLAN

STATUS
PLANNING

SCALE @ 1 : 200	DRAW JKA
---------------------------	--------------------

PROJECT NO.	ZONE	TYPE	ROLE	DRW NO.	REV
139-	JKA-	ZZ - DR-	A -	PL02	D

Tree to be removed as advised in specialist consultation

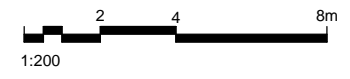


Single post for veranda.
Hand dug foundation locally if required

TPO tree retained.
Unaffected by build as no new foundations locally

Refer to drawing PL04 for rear boundary condition

REFERENCE



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REV	DESCRIPTION	CHK	DATE
F	SCALE BAR CORRECTED	JK	15/07/21
E	REAR BOUNDARY CONDITION UPDATED FOLLOWING SITE CLEARING AND PROPOSAL AMMENDED	JK	27/04/21
D	PROPOSED UPDATED	JK	06/04/21
C	REVISED SCHEME	JK	19/03/21
B	TREE REMOVED	JK	12/02/21
A	ADDITIONAL LANDSCAPE INFORMATION ADDED	JK	11/02/21

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CN 11235210
59 HEOL Y NANT
CARDIFF
CF14 6BT



CLIENT
MIKE PETERSEN

PROJECT
REAR EXTENSION & REMODEL

DRAWING
PROPOSED SITE PLAN

STATUS
PLANNING

SCALE @ 1 : 200	DRAW JKA
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PROJECT NO.	ZONE	TYPE	ROLE	DRW NO.	REV
139-	JKA-	ZZ - DR-	A -	PL03	F

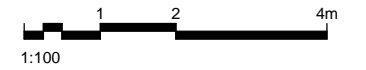


FRONT ELEVATION - EXISTING (WEST)
1 : 100



FRONT ELEVATION - PROPOSED (WEST)
1 : 100

REFERENCE



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MATERIALS LEGEND

- 1 PAINTED SMOOTH WHITE RENDER
- 2 SMALL TERRACOTTA COLOUR CLAY ROOF TILE
- 3 PAINTED WHITE FACIAS AND GUTTERS
- 4 LINEAR RED BRICK DWARF WALL
- 5 DARK GREY ALUMINIUM WINDOWS DOORS WITH HORIZONTAL BARS AS INDICATED (OBSCURED TO BATHROOMS)
- 6 DARK GREY ALUMINIUM PARAPET CAPPING
- 7 'EQUITONE NATURA' CLADDING WITH HIDDEN FIX SYSTEM
- 8 COTWOLD GREEN WINDOWS AND TIMBER WORK TO FRONT (OBSCURED TO BATHROOMS)
- 9 VELUX ROOFLIGHT

C	ADJACENCY AND LEVELS TO 2A UPDATED	JK	15/07/21
B	REAR BOUNDARY CONDITION UPDATED FOLLOWING SITE CLEARING AND PROPOSAL AMMENDED	JK	27/04/21
A	REVISED SCHEME	JK	19/03/21
-	FIRST ISSUE - PLANNING	JK	02/02/21
REV	DESCRIPTION	CHK	DATE

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PROJECT

REAR EXTENSION & REMODEL

DRAWING

EXISTING AND PROPOSED FRONT ELEVATION - WEST

STATUS

PLANNING

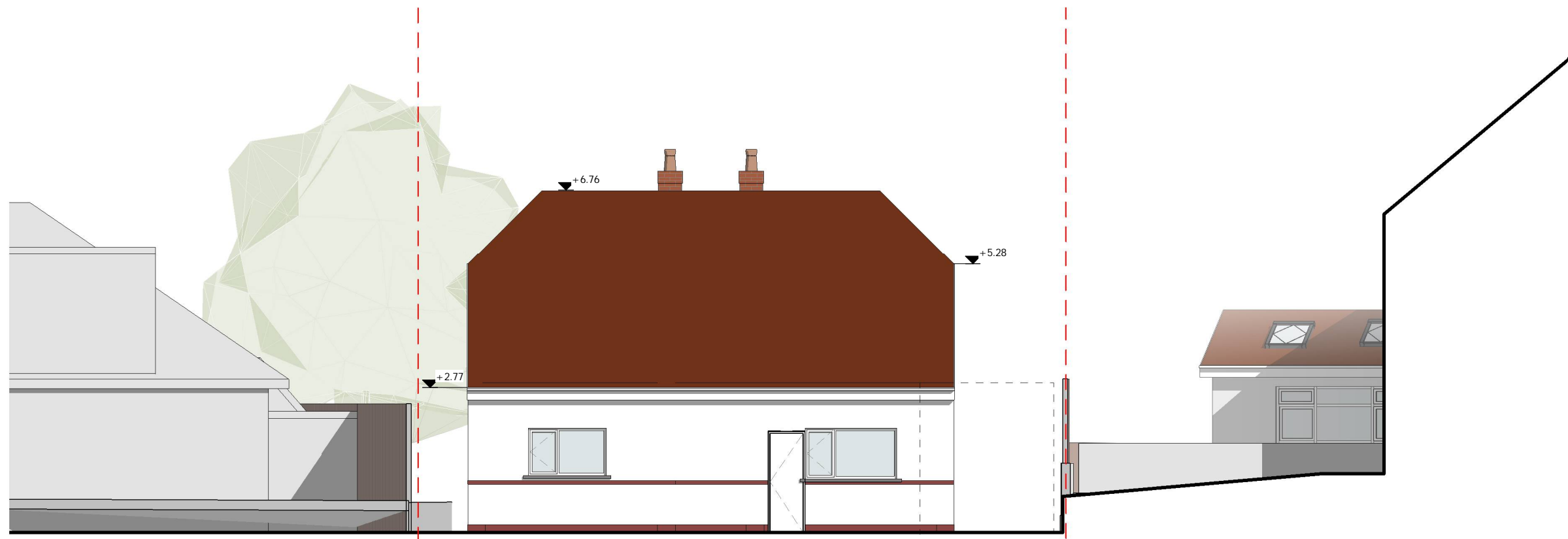
SCALE @

As indicated

DRAW

JKA

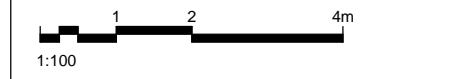
PROJECT NO.	ZONE	TYPE	ROLE	DRW NO.	REV
139- JKA- ZZ - DR-	A	PL08	C		



REAR ELEVATION - EXISTING (EAST)
1 : 100



REFERENCE



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REV	DESCRIPTION	CHK	DATE
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B	REAR BOUNDARY CONDITION UPDATED FOLLOWING SITE CLEARING AND PROPOSAL AMMENDED	JK	27/04/21
A	REVISED SCHEME	JK	19/03/21
-	FIRST ISSUE - PLANNING	JK	02/02/21

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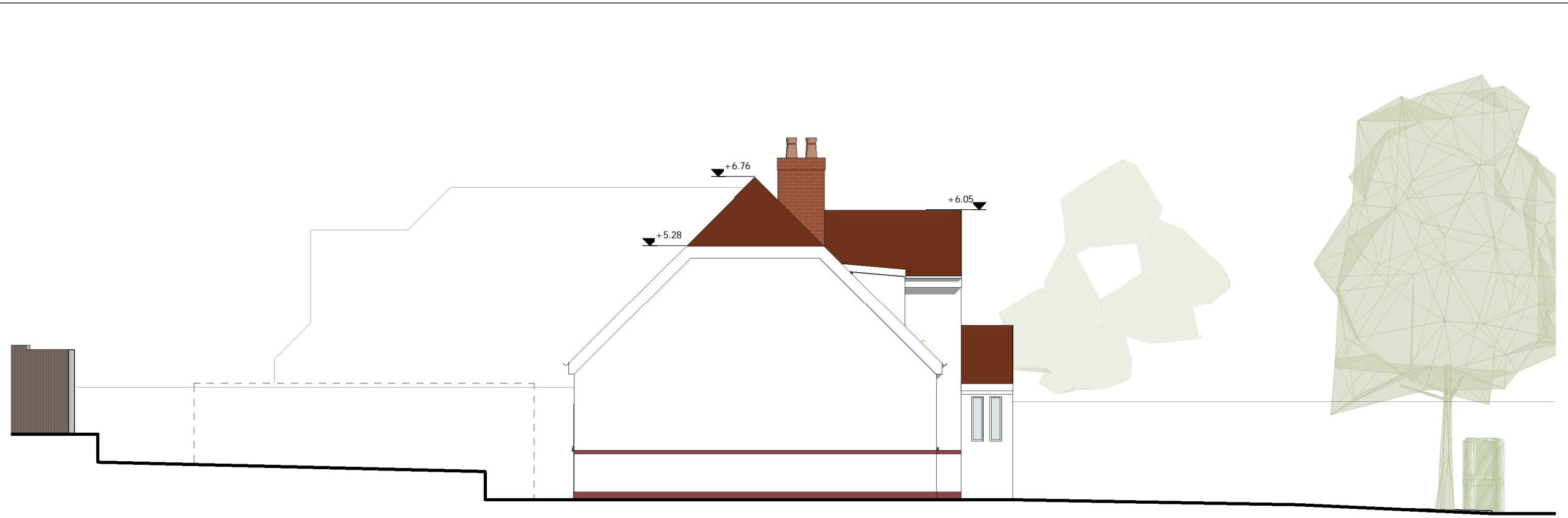
PROJECT
REAR EXTENSION & REMODEL

DRAWING
EXISTING AND PROPOSED REAR ELEVATION - EAST

STATUS
PLANNING

SCALE @ As indicated	DRAW JKA
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PROJECT NO.	ZONE	TYPE	ROLE	DRW NO.	REV
139-	JKA-	ZZ - DR-	A - PL10		C



SIDE ELEVATION - EXISTING (NORTH)
1 : 100



SIDE ELEVATION - PROPOSED (NORTH)
1 : 100

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REV	DESCRIPTION	CHK	DATE
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B	REAR BOUNDARY CONDITION UPDATED FOLLOWING SITE CLEARING AND PROPOSAL AMMENDED	JK	27/04/21
A	REVISED SCHEME	JK	19/03/21
-	FIRST ISSUE - PLANNING	JK	02/02/21

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PROJECT
REAR EXTENSION & REMODEL

DRAWING
EXISTING AND PROPOSED SIDE ELEVATION - NORTH

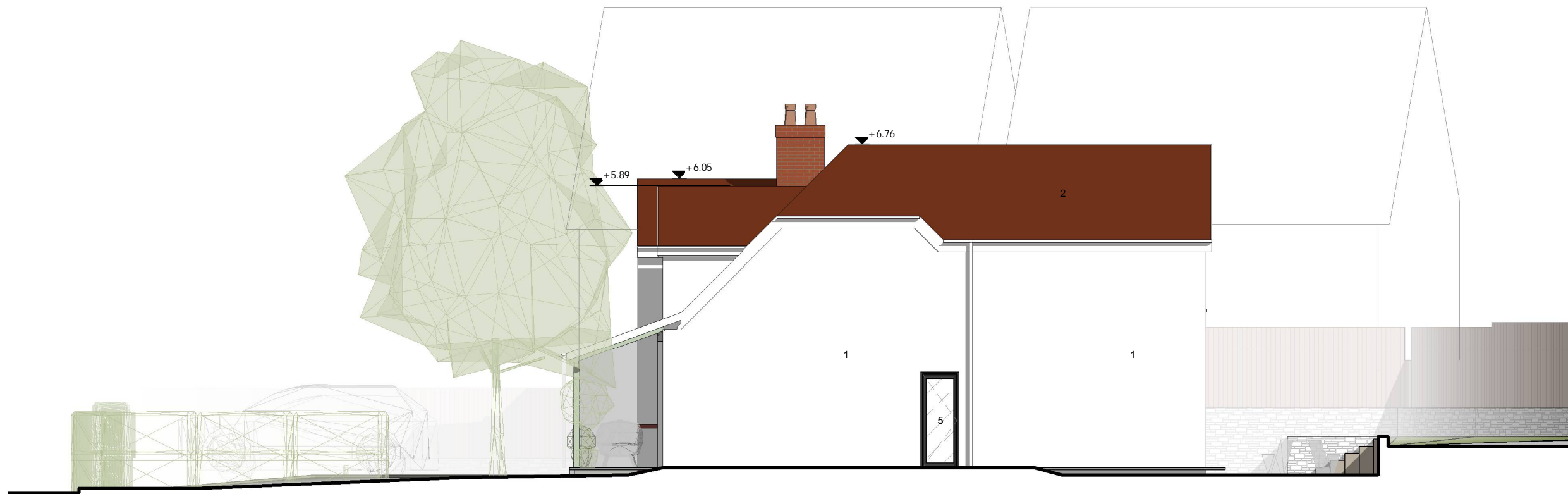
STATUS
PLANNING

SCALE @ As indicated	DRAW JKA
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PROJECT NO.	ZONE	TYPE	ROLE	DRW NO.	REV
139-	JKA-	ZZ - DR-	A - PL11		C

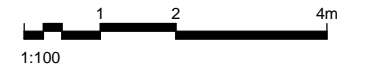


SIDE ELEVATION - EXISTING (SOUTH)
1 : 100



SIDE ELEVATION - PROPOSED (SOUTH)
1 : 100

REFERENCE



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REV	DESCRIPTION	CHK	DATE
C	ADJACENCY AND LEVELS TO 2A UPDATED	JK	15/07/21
B	REAR BOUNDARY CONDITION UPDATED FOLLOWING SITE CLEARING AND PROPOSAL AMMENDED	JK	27/04/21
A	REVISED SCHEME - FIRST ISSUE - PLANNING	JK	19/03/21 02/02/21

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PROJECT

REAR EXTENSION & REMODEL

DRAWING

EXISTING AND PROPOSED SIDE ELEVATION - SOUTH

STATUS

PLANNING

SCALE @

As indicated

DRAW

JKA

PROJECT NO.	ZONE	TYPE	ROLE	DRW NO.	REV
139-	JKA-	ZZ - DR-	A -	PL09	C

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LOCAL MEMBER OBJECTION

COMMITTEE DATE: 18/08/2021

APPLICATION No. **21/00280/MNR** APPLICATION DATE: 03/02/2021ED: **FAIRWATER**

APP: TYPE: Full Planning Permission

APPLICANT: Mr FORDHAM

LOCATION: LAND ADJACENT TO LAUREL COURT, FAIRWATER

PROPOSAL: ERECTION OF NEW BUILD DEVELOPMENT TO FORM 2NO. FLATS

RECOMMENDATION 1 : That planning permission be **GRANTED** subject to the following conditions :

1. C01 Statutory Time Limit
2. The development, except where explicitly required by the preceding conditions, shall be carried out in accordance with the following approved plans and details:
 - L_002 Rev. A – Site Plan as Proposed
 - L_200 Rev. A – Ground Floor as Proposed
 - L_201 Rev. A – First Floor as Proposed
 - L_210 Rev. A – Elevations 1 of 2 as Proposed
 - L_211 Rev. A – Elevations 2 of 2 as Proposed

Reason: To ensure satisfactory completion of the development and for the avoidance of doubt in line with the aims of Planning Policy Wales to promote an efficient planning system.

3. Prior to beneficial use of the development, hereby approved, the car parking spaces shown on the approved plans shall provided and thereafter retained for sole use of occupiers of the development.

Reason: In the interests of Highway Safety in accordance with Policies KP5, T5 and T6 of the Cardiff Local Development Plan 2006-2026.

4. In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing within 2 days to the Local Planning Authority, all associated works must stop, and no further development shall take place unless otherwise agreed in writing until a scheme to deal with the contamination found has been approved. An investigation and risk assessment must be undertaken and where remediation is necessary a remediation scheme and verification plan must be prepared and submitted to and approved in writing by the Local Planning Authority. Following completion of measures identified in the

approved remediation scheme a verification report must be submitted to and approved in writing by the Local Planning Authority. The timescale for the above actions shall be agreed with the LPA within 2 weeks of the discovery of any unsuspected contamination.

Reason: To ensure that any unacceptable risks from land contamination to the future users of the land, neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with policy EN13 of the Cardiff Local Development Plan.

5. Any topsoil [natural or manufactured], or subsoil, to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation which shall be submitted to and approved in writing by the Local Planning Authority in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes.

Subject to approval of the above, sampling of the material received at the development site to verify that the imported soil is free from contamination shall be undertaken in accordance with a scheme and timescale to be agreed in writing by the LPA.

Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan.

6. Any aggregate (other than virgin quarry stone) or recycled aggregate material to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation which shall be submitted to and approved in writing by the Local Planning Authority in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes.

Subject to approval of the above, sampling of the material received at the development site to verify that the imported material is free from contamination shall be undertaken in accordance with a scheme and timescale to be agreed in writing by the Local Planning Authority.

Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan.

7. No development shall take place until full details of soft landscaping have been submitted to and approved in writing by the Local Planning Authority. These details shall include:

- A soft landscaping implementation programme.

- Scaled planting plans prepared by a qualified landscape architect (as appropriate).
- Evidence to demonstrate that existing and proposed services, lighting, CCTV, drainage and visibility splays will not conflict with proposed planting (as appropriate).
- Schedules of plant species, sizes, numbers and densities prepared by a qualified landscape architect (as appropriate).
- Scaled tree pit sectional and plan drawings prepared by a qualified landscape architect that show the Root Available Soil Volume (RASV) for each tree (as appropriate).
- Topsoil and subsoil specification for all planting types, including full details of soil assessment in accordance with the Cardiff Council Soils and Development Technical Guidance Note, soil protection, soil stripping, soil storage, soil handling, soil amelioration, soil remediation and soil placement to ensure it is fit for purpose. Where imported planting soils are proposed, full specification details shall be provided including the parameters for all imported planting soils, a soil scientists interpretive report demonstrating that the planting soil not only meets British Standards, but is suitable for the specific landscape type(s) proposed. The specification shall be supported by a methodology for storage, handling, amelioration and placement.
- Planting methodology and post-planting aftercare methodology prepared by a qualified landscape architect, including full details of how the landscape architect will oversee landscaping implementation and report to the LPA to confirm compliance with the approved plans and specifications.

Reason in the interests of green infrastructure and biodiversity to mitigate the effects of development and enhance the area in accordance with Policies KP15, KP16, EN6, EN7 and EN8 of the Cardiff Local Development Plan 2006-2026.

8. Prior to beneficial use of the development, hereby approved, the cycle parking spaces shown on the approved plans be shall provided and thereafter retained.

Reason: In the interests of promoting sustainable modes of transport in accordance with Policies KP5, T5 and T6 of the Cardiff Local Development Plan 2006-2026.

9. Surface water from the development, hereby approved, shall be by means of soakaway. In the event soakaways cannot be utilised a drainage scheme, incorporating alternative sustainable drainage techniques shall be implemented, prior to beneficial use of the development, in accordance with details that have been approved by the Local Authority.

Reason: In the interests of water cycle management and averting flood risk in accordance with Policies EN10 and EN14 of the Cardiff Local Development Plan 2006-2026.

RECOMMENDATION 2: Each flat will require the following for recycling and waste

collections:

- 1 x 140 litre bin for general waste
- 1 x 25 litre kerbside caddy for food waste
- Green bags for mixed recycling (equivalent to 140 litres)
- 1 x 240 litre bin for garden waste (if required)

The kitchen should be designed to allow the separation of waste into three waste streams; general, recycling and food waste, in order to encourage the correct disposal of waste.

Refuse storage, once implemented, must be retained for future use.

Please be advised that the developers of all new residential units are required to purchase the bin provision required for each unit. The bins have to meet the Council's specifications. Individual 140 litre/240 litre wheeled bins can be purchased via waste Connect to Cardiff at (029) 2087 2087.

RECOMMENDATION 3: Welsh Water advise:

The proposed development site is crossed by a public sewer with the approximate position being marked on the attached Statutory Public Sewer Record. The position shall be accurately located and marked out on site before works commence and no operational development shall be carried out within 3 metres either side of the centreline of the public sewer.

The proposed development may be subject to Schedule 3 of the Flood and Water Management Act 2010. The development therefore may require approval of Sustainable Drainage Systems (SuDS) features, in accordance with national standards, and is strongly recommended that the developer engage in pre-application consultation with the Local Authority, as the relevant SuDS Approval Body (SAB).

The applicant may need to apply to Dwr Cymru / Welsh Water for any connection to the public sewer under S106 of the Water Industry Act 1991. If the connection to the public sewer network is either via a lateral drain (i.e. a drain which extends beyond the connecting property boundary) or via a new sewer (i.e. serves more than one property), it is now a mandatory requirement to first enter into a Section 104 Adoption Agreement (Water Industry Act 1991). The design of the sewers and lateral drains must also conform to the Welsh Ministers Standards for Gravity Foul Sewers and Lateral Drains, and conform with the publication "Sewers for Adoption"- 7th Edition. Further information can be obtained via the Developer Services pages of www.dwrcymru.com

The applicant is also advised that some public sewers and lateral drains may not be recorded on our maps of public sewers because they were originally privately owned and were transferred into public ownership by nature of the Water Industry (Schemes for Adoption of Private Sewers) Regulations 2011. The presence of such assets may affect the proposal. In order to assist us in dealing with the proposal the applicant may contact Dwr Cymru Welsh Water on 0800 085 3968 to establish the location and status of the apparatus. Under the Water Industry Act 1991 Dwr Cymru Welsh Water has rights of access to its apparatus at all times.

Our response is based on the information provided by your application. Should the proposal alter during the course of the application process we kindly request that we are re-consulted and reserve the right to make new representation.

If you have any queries please contact 0800 917 2652 or via email at developer.services@dwrwymru.com

RECOMMENDATION 4: The contamination assessments and the effects of unstable land are considered on the basis of the best information available to the Planning Authority and are not necessarily exhaustive. The Authority takes due diligence when assessing these impacts, however you are minded that the responsibility for

- i. determining the extent and effects of such constraints;
- ii. ensuring that any imported materials (including, topsoils, subsoils, aggregates and recycled or manufactured aggregates/ soils) are chemically suitable for the proposed end use. Under no circumstances should controlled waste be imported. It is an offence under Section 33 of the Environmental Protection Act 1990 to deposit controlled waste on a site which does not benefit from an appropriate waste management license. The following must not be imported to a development site;
 - Unprocessed / unsorted demolition wastes.
 - Any materials originating from a site confirmed as being contaminated or potentially contaminated by chemical or radioactive substances.
 - Japanese Knotweed stems, leaves and rhizome infested soils. In addition to section 33 above, it is also an offence under the Wildlife and Countryside Act 1981 to spread this invasive weed; and
- iii. the safe development and secure occupancy of the site rests with the developer.

Proposals for areas of possible land instability should take due account of the physical and chemical constraints and may include action on land reclamation or other remedial action to enable beneficial use of unstable land.

The Local Planning Authority has determined the application on the basis of the information available to it, but this does not mean that the land can be considered free from contamination.

RECOMMENDATION 5: Attention is drawn to the provisions of Section 60 of the Control of Pollution Act 1974 in relation to the control of noise from demolition and construction activities. Further to this the applicant is advised that no noise audible outside the site boundary adjacent to the curtilage of residential property shall be created by construction activities in respect of the implementation of this consent outside the hours of 0800-1800 hours Mondays to Fridays and 0800 - 1300 hours on Saturdays or at any time on Sunday or public holidays.

1. **DESCRIPTION OF THE SITE AND PROPOSED DEVELOPMENT**

- 1.1 The application site consists of a vacant parcel of land between two blocks of flats within a cul-de-sac including an additional similar property. The site is located in a principally residential area. Access to the site is off Plas Mawr Road in the form of a short projection of highway providing parking for nearby properties. The site is bounded by a public park to the west.
- 1.2 Planning permission is sought for the construction of a two storey building providing two flats. The building would be sited to the northern element of the site in close proximity to the boundary with and at the same orientation as 3 & 4 Laurel Court and would extend marginally beyond this buildings rear elevation from a point roughly in line with it's front elevation. The width of the building would predominately front the gap between the two neighbouring blocks but would extend southwards marginally beyond the front elevation of 1 & 2 Laurel Court. Areas of amenity space would be provided to the south of the proposed building for the two flats. The proposed property would be of a fairly typical design and finish given the context of the area. Two parking spaces are proposed within the existing curtilage of Sunnybank, Fern Place to the south of the site with a pedestrian walkway between the spaces and the proposed development.

2. SITE HISTORY OF RELEVANCE

Application No : 20/00859/MNR
Proposal : ERECTION OF NEW DEVELOPMENT TO FORM 2NO.
FLATS
Application Type: FUL
Decision : REF
Decision Date : 29/10/2020

3. POLICY FRAMEWORK

National Planning Policy

- Planning Policy Wales (10th Ed, 2018)
- Technical Advice Note 11: Noise
- Technical Advice Note 12: Design
- Technical Advice Note 15: Development and Flood Risk

Cardiff Local Development Plan 2006-2026 (2016)

- Policy KP1 (Level of Growth)
- Policy KP3(B) (Settlement Boundaries)
- Policy KP5 (Good Quality and Sustainable Design)
- Policy KP8 (Sustainable Transport)
- Policy KP13 (Responding to Evidenced Social Needs)
- Policy KP15 (Climate Change)
- Policy KP16 (Green Infrastructure)
- Policy EN6: Ecological Networks and Features of Importance for Biodiversity
- Policy EN7: Priority Habitats and Species
- Policy EN8 (Trees, Woodlands and Hedgerows)

- Policy EN10 (Water Sensitive Design)
- Policy EN13 (Air, Noise, Light Pollution and Land Contamination)
- Policy EN14 (Flood Risk)
- Policy T1 (Walking and Cycling)
- Policy T5 (Managing Transport Impacts)
- Policy T6 (Impact on transport Networks and Services)
- Policy C3 (Community Safety/Creating Safe Environments)
- Policy W2 (Provision for Waste Management Facilities in Development)

Supplementary Planning Guidance

- Green Infrastructure (2017)
- Infill Sites (2017)
- Managing Transportation Impacts (2018)
- Waste Collection and Storage Facilities (2016)

4. CONSULTEE RESPONSES

- 4.1 The Operational Manager (Waste Management) raises no objection the proposed storage area for waste and recycling which is considered acceptable. General advice in respect of waste management is provided.
- 4.2 The Operational Manager (Shared Regulatory Services – Pollution Control) previously raised no objections to such a proposal, advisory notes in respect of construction site noise and waste management were requested.
- 4.3 The Operational Manager (Shared Regulatory Services –Environment) advises that contamination is not known at the site a conditions are recommended in respect of unforeseen contamination and imported materials.
- 4.4 The Operational Manager (Flood & Costal Risk Management) has been consulted, no representations have been received.
- 4.5 The Operational Manager (Traffic and Transportation) has been consulted, no in principle objections have been received. The previous refusal is acknowledged and it is queried whether parking off Fern Place would be a practical alternative. Accessible and undercover cycle parking should be provided.
- 4.6 The Councils Planner (Trees and Landscaping) raises no objection to the proposal subject to a condition requiring a scheme of soft landscaping to be undertaken to mitigate the effects of the development and any loss of green infrastructure.
- 4.6 The Councils Planner (Ecology) has been consulted, no representations have been received.
- 4.7 South Wales Police have been consulted, no representations have been received.
- 4.8 Wales and West Utilities previously raised no objection to such a proposal, advise that gas pipes may be present within the area and must not be built over, general

guidance notes should be followed.

4.9 Natural Resources Wales raise no objection to the proposal.

4.10 Welsh Water raise no objection to the proposal and provide advice in respect of asset protection, water connections and the public sewerage network.

5. REPRESENTATIONS

5.1 The owner/occupiers of neighbouring properties have been consulted, several letters of representation have been received. The owner/occupiers of 2, 4, 5, 6 & 7 Laurel Court object to the proposal, a summary of the objections are detailed below:

- Overdevelopment
- Overbearing impact
- Loss of light and overshadowing
- Loss of privacy
- Lack of appropriate parking and associated impact upon road network
- Noise and disruption from construction activities
- Loss of mature hedgerows
- Devaluation of properties

5.2 Cllr Lisa Ford, Local Ward Member, supports the concerns and objections of neighbouring residents and objects to the proposal on the grounds it would be overbearing, of detriment to privacy of neighbouring occupiers, lacks open space and issues with parking including concerns over the access from the proposed parking area.

6. ANALYSIS

6.1 Introduction

6.1.1 The application site lies within the defined settlement boundary within an existing residential area and has no specific designation or allocation, therefore, the principle of the proposal is considered acceptable.

6.1.2 The principal matters for consideration are:

- the effect of the proposal upon the character and appearance of the area;
- the effect of the proposal upon the amenity of neighbouring occupiers and the area;
- the amenity to be provided for future occupiers;
- the transport impact.

6.2 Impact Upon the Character and Appearance of the Area

6.2.1 Policy KP5 seeks to ensure that new development responds *“to the local character and context of the built and landscape setting so that layout, scale, form, massing,*

height, density. Colour, materials, detailing and impact on the built and natural heritage are all addressed within development proposals'. Whilst the Infill Sites SPG advises that such development should be sensitive to its immediate surroundings and respond well to the built context in terms of their siting, adherence to building plots and lines.

6.2.2 The scale and design of the proposal generally accords with the general character of the area and would not be incongruous in itself despite some conflict with the original pattern of development.

6.2.3 Accordingly it is considered that the proposal would reflect the character and appearance of the area and accords with the principles of Policy KP5.

6.3 Impact Upon the Amenity of Neighbouring Occupiers

6.3.1 Policy KP5 states all new development will be required to ensure there is *'no undue effect on the amenity of neighbouring occupiers'*.

6.3.2 The scale and siting of the proposal relative to neighbouring properties is considered acceptable. The significant mass of the proposed building is located away from principal spaces around neighbouring buildings and would, therefore, not be unduly overbearing of otherwise un-neighbourly. The orientation relative to the property to the north east and the extent projection to the rear relative to the property to the north west are such that no significant loss of light or over-shadowing would result.

6.3.3 The siting of windows within the development are such that only acute views rather than direct views towards neighbouring windows or private garden areas would be afforded which would result in limited detriment to neighbouring privacy and is a common characteristic of urban environments.

6.3.5 Accordingly, it is considered that the proposal would have no detrimental impact upon the amenity of neighbouring occupiers and, therefore, accords with the principles of Policy KP5.

6.4 Amenity of Future Occupiers

6.4.1 Policy KP5 requires all new development to be of a high quality design.

6.4.2 The level of internal accommodation for each proposed dwelling is considered to be of an adequate size and layout. Each property would benefit from adequate outlook and light.

6.4.3 The level of amenity space is considered appropriate. Each property would benefit from a good sized private garden with space for appropriate facilities to service the dwellings.

6.4.4 Accordingly, it is considered that the proposal, in this regard, would provide a good level of general amenity for future occupiers and accord with the principles of Policy KP5.

6.5 Transport Impact

- 6.5.1 Policy KP8 seeks to achieve a 50:50 modal split between journeys by car and other more sustainable means and, therefore, seeks to reduce reliance on the private car as a means of transport in favour of more sustainable methods. Policy T5, supports this key policy, by seeking to ensure *'that all new developments properly address the demand for travel and its impacts, contributes to reducing reliance on the private car and avoids unacceptable harm to safe and efficient operation of the road, public transport and other movement network and routes'*. Whilst Policy KP6 details that *'development will not be permitted which would cause unacceptable harm to the safe and efficient operation of the highway, public transport and other movement networks'*.
- 6.5.2 The proposal is located within a sustainable location in close proximity to local amenities and public transport. Cycle parking spaces, to encourage the use of sustainable modes of transport, are proposed, therefore, occupiers of the proposed dwellings would not be totally reliant upon the car as a mode of transport.
- 6.5.3 Notwithstanding the proposals general accordance with the principles of sustainable transport such objectives must be balanced against the need to manage pressures on existing parking and the negative impacts of over subscription of space including congestion, hazards, visual amenity and harm to residential amenity. It is noted that the parking area to Laurel Court is heavily subscribed and additional on-street car parking could be of detriment to highway safety. The proposal includes two car parking spaces located off Fern Place this is considered to be an adequate provision for the proposed development and within the maximum allowance. The car parking spaces would be accessed via a short secure pedestrian path which is considered appropriate in context.
- 6.5.4 Accordingly, it is considered that the proposal accords with the principles of sustainable transport and should have no adverse impact upon the existing highway and amenities of the area, therefore, the proposal accords with the principles of Policies KP5, KP8, T1, T5 and T6.

6.6 Other Matters

- 6.6.1 Policy KP15 seeks to mitigate against the effects of climate change and details Green Infrastructure has an important function as carbon sinks and Policies KP16 and EN8 seek to protect and promote Green Infrastructure including trees and hedges. The proposal provides insufficient information to determine that existing green infrastructure would be adequately protected and would not conflict with the development. Furthermore, no detail is provided toward any potentially required mitigation measures or general landscaping to be provided, however, there is considered to be adequate space around buildings to provide soft landscaping to mitigate any loss and enhance the area, therefore, the proposal is considered acceptable subject to a condition requiring further details and implementation of a landscaping scheme.
- 6.6.2 Policy EN10 details that *'development should apply water sensitive urban design*

solutions' the process of integrating water cycle management with the built environment through planning and urban design. Furthermore, the purpose of Policy EN14 *'is to avert development from where it would be at risk from river, ordinary watercourse, coastal, surface water flooding or where it would increase the risk of flooding or additional run off from development elsewhere'*. With regard to Chapter 6 of PPW and guidance within TAN15 surface water drainage is a material planning consideration and consideration to flooding caused by heavy rainfall and runoff from development in areas of known flooding is required to be given on a case by case basis. It should, however, be noted that since January 2019 additional control under the Water Management Act 2010 has been enacted in this regard and the proposed development may require approval under the 'SAB process'. The site is not in an area known for main river, sea, reservoir or surface water flood risk, therefore, on this basis it is considered the proposal is unlikely to have any adverse flood risk impact subject to the implementation of adequate surface water drainage, which should incorporate disposal by sustainable means. Soakaways are detailed for use, a sustainable system, and, therefore, a condition is recommended in this regard and an advisory note relating to the 'SAB' process. Accordingly, it is considered, with due regard to national policy and guidance, that the proposal would accord with the principles of Policies EN10 and EN14

- 6.6.3 In respect of comments made by objectors that are not previously been addressed it should be noted that property prices are not a material planning consideration. Whilst it is acknowledged that some disruption from construction activities is likely to occur it would not be considered that the construction of a development of this scale would adversely affect amenity or safety to such a degree that planning controls would be warranted, given the controls of other relevant legislation in this regard.

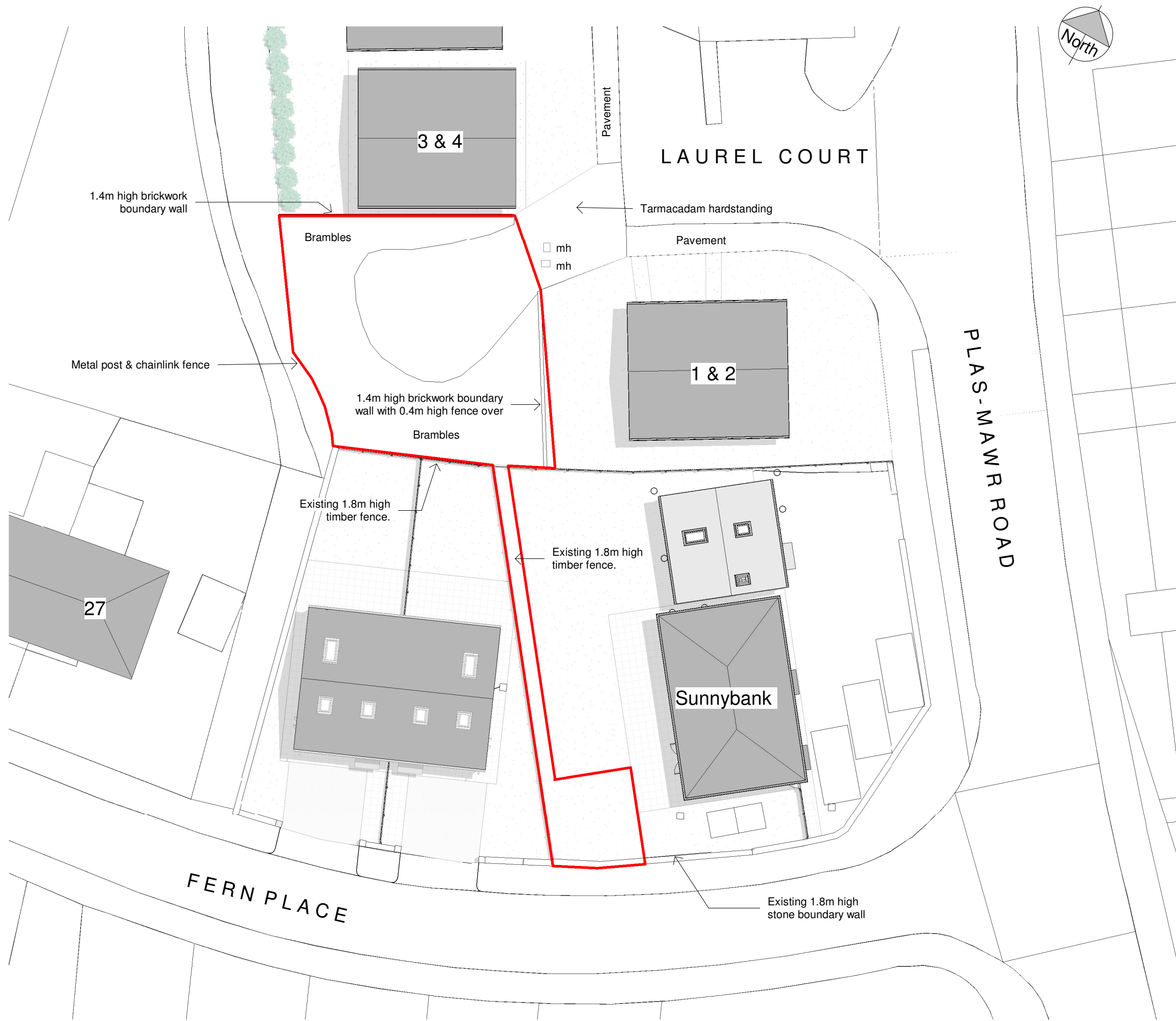
7. **OTHER CONSIDERATIONS**

- 7.1 **Crime and Disorder Act 1998** – Section 17(1) of the Crime and Disorder Act 1998 imposes a duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.
- 7.2 **Equality Act 2010** – The Equality Act 2010 identifies a number of 'protected characteristics', namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. The Council's duty under the above Act has been given due consideration in the determination of this application. It is considered that the proposed development does not have any significant implications for, or effect on, persons who share a protected characteristic.
- 7.3 **Well-Being of Future Generations Act 2015** – Section 3 of this Act imposes a duty on public bodies to carry out sustainable development in accordance with the sustainable development principle to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future

generations to meet their own needs (Section 5). This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable impact upon the achievement of wellbeing objectives as a result.

8. **CONCLUSION**

- 8.1 Having regard to the policy context above, the proposal is considered acceptable and it is recommended that planning permission be granted.



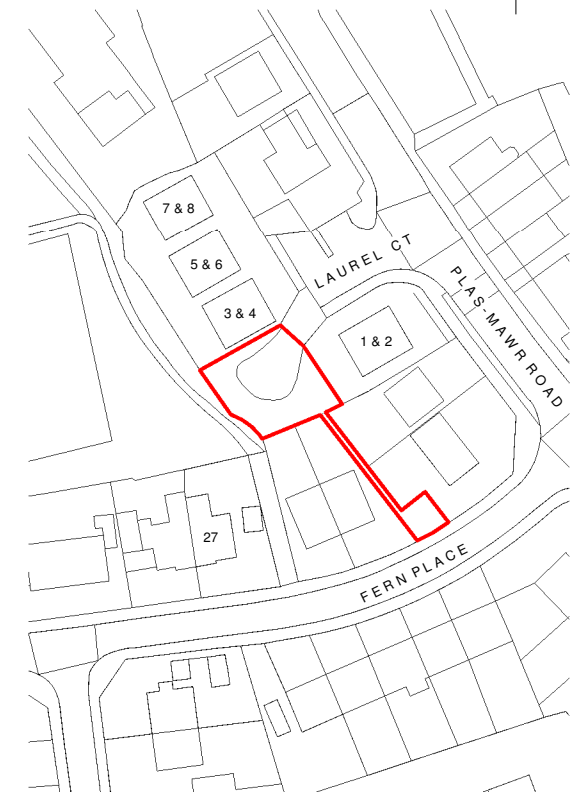
Site Plan as Existing
1 : 250

Site Area: 300m²

Responsibility is not accepted for errors made by others in scaling from this drawing. All construction information should be taken from figured dimensions only.

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A3 Original Sheet Size



Location Plan

1 : 1250

Planning Issue

05/05/21 A PL MF Site boundary & notes amended

date	rev	name	chk	note
05/05/21	A	PL	MF	Site boundary & notes amended



Architectural Design - Feasibility - Planning - Building Control - Construction Details - Sustainable Design
Systems House 89 Heol Don Cardiff CF14 2AT
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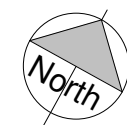
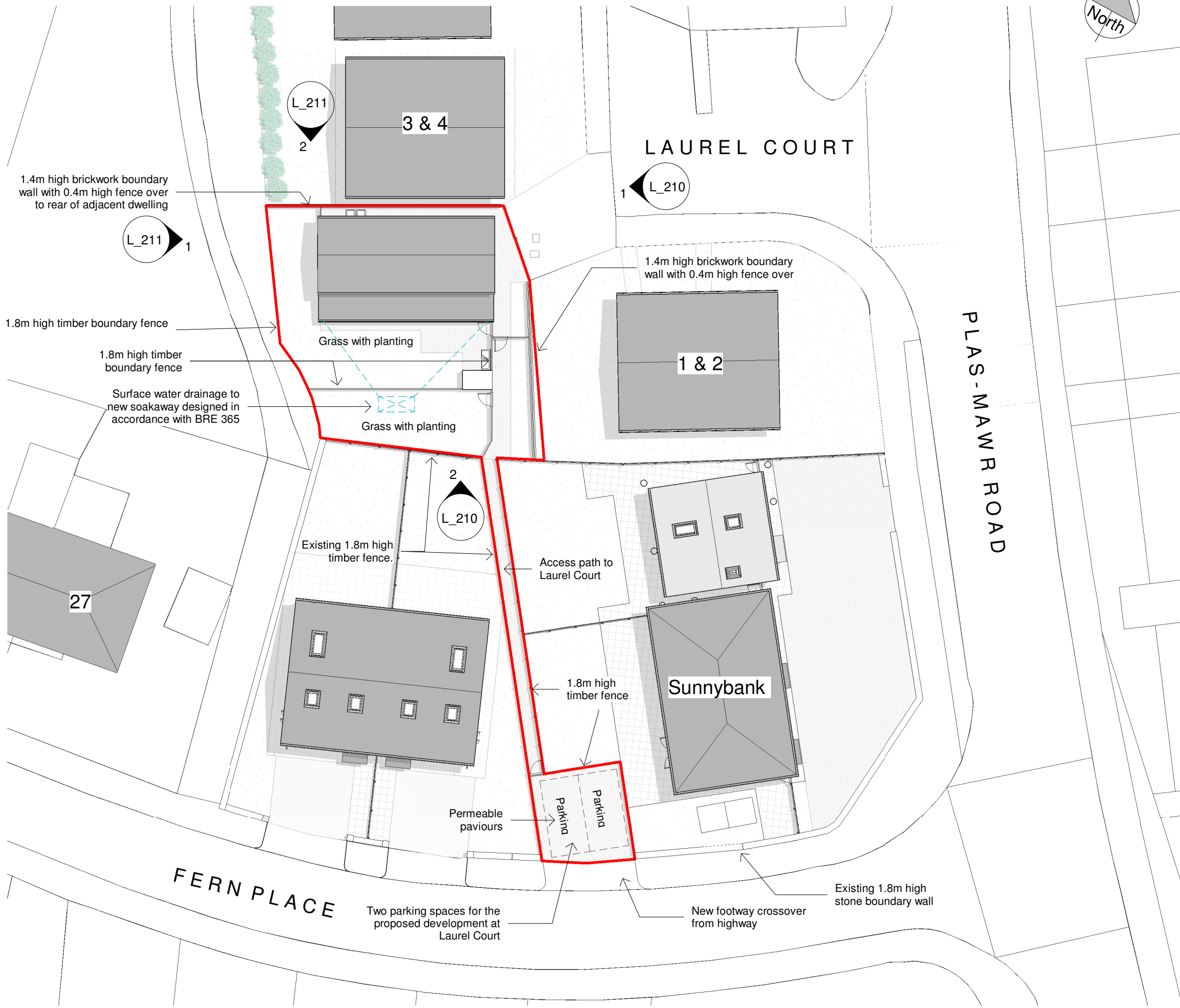
PROJECT
Erection of new development to form 2 No Flats

Land Adjacent to Laurel Court, Cardiff, CF5 3LT

DRAWING TITLE
Site Plan as Existing

SCALE	DATE	DRAWN BY	CHECKED BY
As indicated	21/04/20	PL	MF

DRAWING NUMBER	REVISION
P671a L_001	A



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A3 Original Sheet Size

DRAINAGE LEGEND:

- - -	- FOUL DRAINAGE RUN - EXISTING
- - -	- FOUL DRAINAGE RUN - PROPOSED
- - -	- SURFACE WATER DRAINAGE RUN

Proposed site area:
 300m²
Car Parking:
 2 No spaces
Cycle spaces:
 Flat 1: 2 No spaces
 Flat 2: 1 No space

DRAINAGE NOTES:
 Surface water drainage to new soakaway to be designed in accordance with BRE 365

BIN STORAGE PER UNIT:

Recycling:	1 x 240L bin
Composting:	1 x 25L bin
Waste:	1 x 240L bin

Planning Issue

date	rev	name	chk	note
04/05/21	A	PL MF		Site boundary & notes amended



Architectural Design - Feasibility - Planning - Building Control - Construction Details - Sustainable Design
 Systems House 89 Heol Don Cardiff CF14 2AT
 T 02920316857 M 07785582007 info@dlparchitecture.co.uk

PROJECT
 Erection of new development to form 2 No Flats

Land Adjacent to Laurel Court, Cardiff, CF5 3LT

DRAWING TITLE
 Site Plan as Proposed

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DRAWING NUMBER		REVISION	
P671a	L_002		A

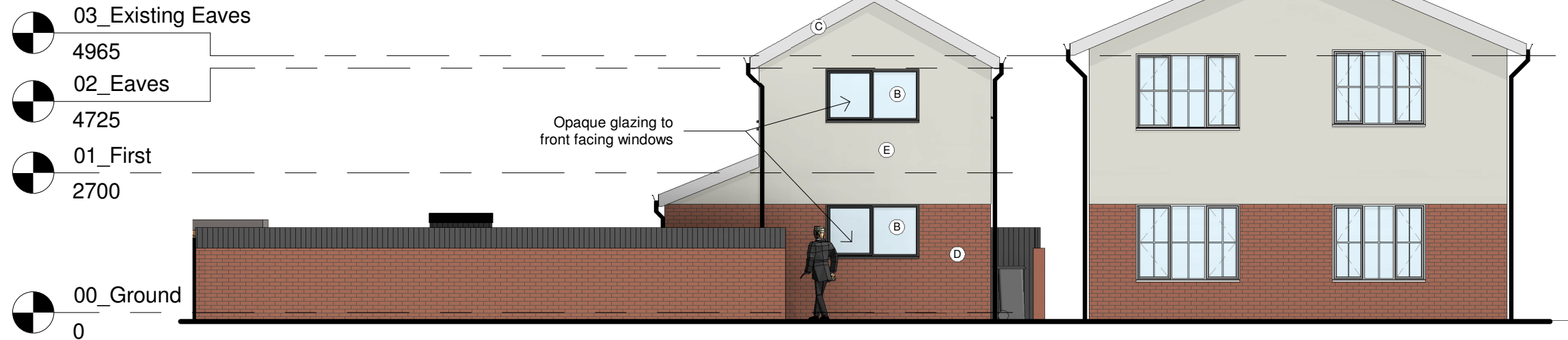
Site Plan as Proposed
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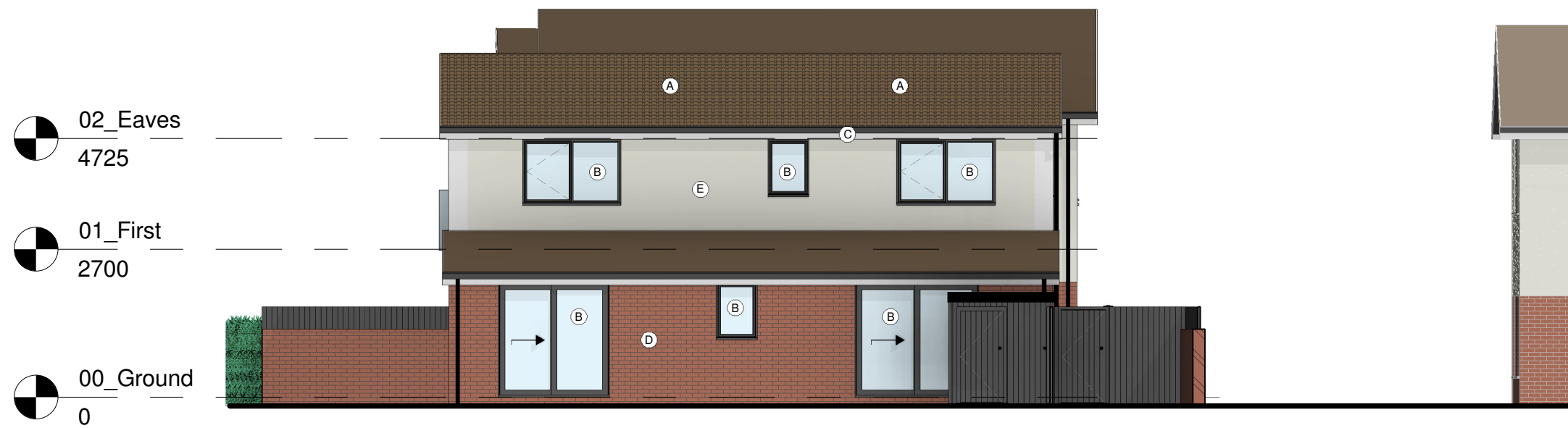
A3 Original Sheet Size



East (Front) Elevation
1 : 100

FINISHES KEY:

- A : BROWN INTERLOCKING ROOF & RIDGE TILES
- B : ANTHRACITE GREY UPVC DOUBLE GLAZED WINDOWS & DOORS
- C : BLACK UPVC RAINWATER GOODS ON WHITE FASCIA
- D : RED / BROWN FAIR FACED BRICKWORK EXTERNAL WALLS
- E : CREAM SMOOTH FACED RENDERED EXTERNAL WALLS



South (Side) Elevation
1 : 100

Planning Issue

date	rev	name	chk	note
04/05/21	A	PL	MF	Site boundary & notes amended



Architectural Design - Feasibility - Planning - Building Control - Construction Details - Sustainable Design
Systems House 89 Heol Don Cardiff CF14 2AT
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PROJECT
Erection of new development to form 2 No Flats

Land Adjacent to Laurel Court, Cardiff, CF5 3LT

DRAWING TITLE
Elevations 1 of 2 as Proposed

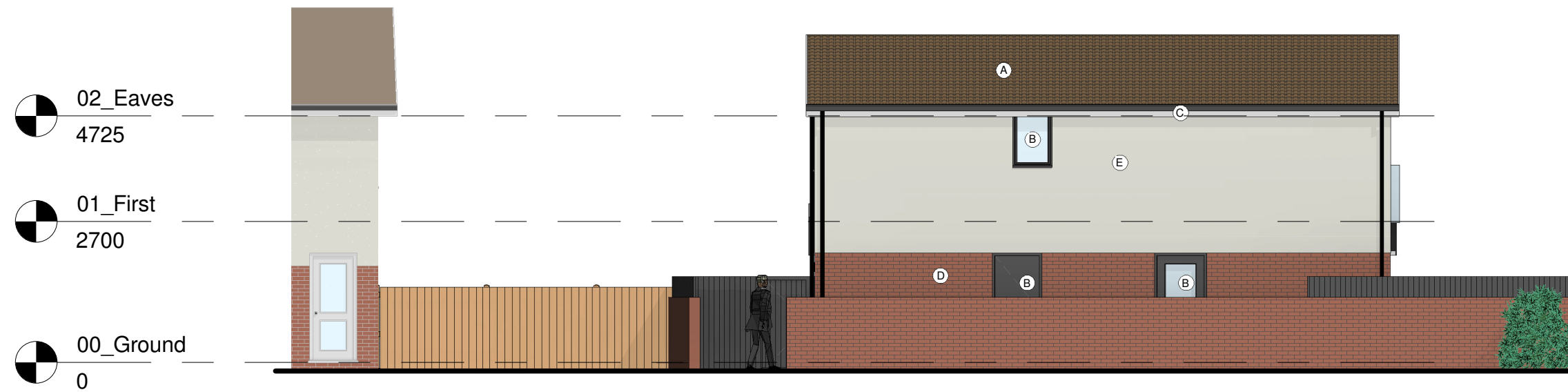
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As indicated	03/02/21	PL	MF
DRAWING NUMBER		REVISION	
P671a	L_210		A



West (Rear) Elevation
1 : 100

FINISHES KEY:

- A : BROWN INTERLOCKING ROOF & RIDGE TILES
- B : ANTHRACITE GREY UPVC DOUBLE GLAZED WINDOWS & DOORS
- C : BLACK UPVC RAINWATER GOODS ON WHITE FASCIA
- D : RED / BROWN FAIR FACED BRICKWORK EXTERNAL WALLS
- E : CREAM SMOOTH FACED RENDERED EXTERNAL WALLS



North (Side) Elevation
1 : 100

Planning Issue

date	rev	name	chk	note
04/05/21	A	PL	MF	Site boundary & notes amended



Architectural Design - Feasibility - Planning - Building Control - Construction Details - Sustainable Design
Systems House 89 Heol Don Cardiff CF14 2AT
T 02920316857 M 07785582007 info@dlparchitecture.co.uk

PROJECT
Erection of new development to form 2 No Flats

Land Adjacent to Laurel Court, Cardiff, CF5 3LT

DRAWING TITLE
Elevations 2 of 2 as Proposed

SCALE	DATE	DRAWN BY	CHECKED BY
As indicated	03/02/21	PL	MF
DRAWING NUMBER		REVISION	
P671a	L_211		A

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A3 Original Sheet Size

FINISHES KEY:

- A : BROWN INTERLOCKING ROOF & RIDGE TILES
- B : ANTHRACITE GREY UPVC DOUBLE GLAZED WINDOWS & DOORS
- C : BLACK UPVC RAINWATER GOODS ON WHITE FASCIA
- D : RED / BROWN FAIR FACED BRICKWORK EXTERNAL WALLS
- E : CREAM SMOOTH FACED RENDERED EXTERNAL WALLS



East Perspective View



West Perspective View

Planning Issue

04/05/21 A PL MF Site boundary & notes amended

date	rev	name	chk	note
04/05/21	A	PL	MF	Site boundary & notes amended



Architectural Design - Feasibility - Planning - Building Control - Construction Details - Sustainable Design
 Systems House 89 Heol Don Cardiff CF14 2AT
 T 02920316857 M 07785582007 info@dlparchitecture.co.uk

PROJECT
 Erection of new development to form 2 No Flats

Land Adjacent to Laurel Court, Cardiff, CF5 3LT

DRAWING TITLE
 Perspective Views as Proposed

SCALE	DATE	DRAWN BY	CHECKED BY
1 : 50	03/02/21	PL	MF

DRAWING NUMBER	REVISION
P671a L_220	A

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COMMITTEE DATE: 18/08/2021

APPLICATION No. **21/00770/MJR** APPLICATION DATE: 08/04/2021

ED: **TROWBRIDGE**

APP: TYPE: Reserved Matters

APPLICANT: Wates and Cardiff Council
 LOCATION: LAND OFF WILLOWBROOK DRIVE, ST MELLONS
 PROPOSAL: RESERVED MATTERS APPROVAL (LAYOUT, SCALE, APPEARANCE, ACCESS AND LANDSCAPING) IN RESPECT OF 70 HOMES AND ASSOCIATED WORKS AND INFRASTRUCTURE PURSUANT TO OUTLINE PLANNING APPROVAL 19/03260/MJR

RECOMMENDATION 1 : That reserved matters be **GRANTED** subject to the following conditions :

1. This approval is in respect of the following drawings and documents:

- 2389_00(03)101J Site Layout
- 2389-01(03)201A HTA1PLAN
- 2389-01(03)301B HT A1 ELEVATIONS
- 2389-04(03)201A HT A2 PLAN
- 2389-04(03)301B HT A2 ELEVATIONS
- 2389-05(03)201A HT A3 PLAN
- 2389-05(03)301C HT A3 ELEVATIONS
- 2389-07(03)200A FB.A GROUND FLOOR PLAN
- 2389-07(03)201A FB.A FIRST FLOOR PLAN
- 2389-07(03)202A FB.A SECOND FLOOR PLAN
- 2389-07(03)301B FB.A FLATS FRONT AND SIDE ELEVATIONS
- 2389-07(03)302B FB.A FLATS REAR AND SIDE ELEVATIONS
- 2389-08(03)201A HT B1 PLANS AND ELEVATIONS
- 2389-10(03)201 HT A PLAN
- 2389-10(03)301A HT A ELEVATIONS
- 2389-11(03)201 HT B PLAN
- 2389-11(03)301A HT B ELEVATION
- 2389-12(03)201 HT C2 PLAN
- 2389-12(03)301A HT C2 ELEVATIONS
- 2389-13(03)201 HT D PLAN
- 2389-13(03)301A HT D ELEVATIONS
- 2389-14(03)201 HT D1 PLAN
- 2389-14(03)301A HT D1 ELEVATIONS
- GI Statement A108991-4 V3
- Landscape Strategy WBN.LA.100 Rev B

- Soft Landscape Plan (1 of 3) WBN.LA.101 Rev B
- Soft Landscape Plan (2 of 3) WBN.LA.102 Rev B Soft Landscape Plan (3 of 3) WBN.LA.103 Rev B
- Soil Volumes WBN.LA.104 Rev B
- Plant Schedule WBN.LA.105 Rev B
- Plant Specifications WBN.LA.106 Rev A
- Design and Access Statement

Reason: To avoid doubt and confusion as to the approved drawings and documents.

2. No development shall take place until the following have been submitted to and approved in writing by the Local Planning Authority (LPA) in accordance with the current British Standard 5837 and that are based on the finalised design:

- An Arboricultural Method Statement (AMS) detailing the methods to be used to prevent loss of or damage to retained trees within and bounding the site, and existing structural planting or areas designated for new structural planting. The AMS shall include details of site monitoring of tree protection and tree condition by a qualified arboriculturist, undertaken throughout the development and after its completion, to monitor tree condition. This shall include the preparation of a chronological programme for site monitoring and production of site reports, to be sent to the LPA during the different phases of development and demonstrating how the approved tree protection measures have been complied with.
- A Tree Protection Plan (TPP) in the form of a scale drawing showing the finalised layout and the tree and landscaping protection methods detailed in the AMS that can be shown graphically. The development shall be carried out in full conformity with the approved AMS and TPP.

Reason: To enable the Local Planning Authority to assess the effects of the proposals on existing trees and landscape; the measures for their protection; to monitor compliance and to make good losses (LDP Policy EN8).

3. Prior to the commencement of development on above ground works the area to the south eastern corner of the site will be subject to a tree survey that will be used to inform a detailed landscape proposal for that area to be submitted to and approved in writing by the Local Planning Authority.

Reason: In the interests of the visual amenities of the area and environmental value of the area (LDP Policy EN8).

4. Prior to the commencement of above ground development a Woodland and Hedgerow Management Plan shall be submitted to and approved in writing by the Local Planning Authority and then implemented as approved.

Reason: In the interests of the visual amenities of the area and environmental value of the area (LDP Policy EN8).

5. Any pruning necessary to implement the planning permission shall be undertaken in accordance with British Standard 3998: 2010 'Tree Work' or any Standard that replaces it.
Reason: The trees are of value in the local environment and should be protected and maintained in good condition (LDP Policy EN8).
6. Any newly planted trees, plants or hedgerows, which within a period of 5 years from the completion of the development die, are removed, become seriously damaged or diseased, or in the opinion of the Local Planning Authority otherwise defective, shall be replaced. Replacement planting shall take place during the first available planting season, to the same specification as approved.
Reason: In the interests of the visual amenities of the area (LDP Policy EN8).
7. Samples of the brick to be used on site shall be submitted to and approved in writing by the Local Planning Authority prior to above ground construction work commencing on any of the approved dwellings or boundary walls.
Reason: In the interests of visual amenities (LDP Policy KP5).
8. Details of the bin and bike stores for the apartments shall be submitted to and approved in writing by the Local Planning Authority prior to any above ground construction work commencing on any of the approved apartments. The bin and bike stores shall be erected prior to the apartments being brought into beneficial use.
Reason: In the interests of visual amenities (LDP Policy KP5).
9. Prior to above ground construction works details of the pedestrian and future vehicular link to the playing fields to the north demonstrating that use by unauthorised vehicles can be prevented shall be submitted to and approved by the Local Planning Authority and the approved details shall be implemented prior to any dwelling fronting the playing fields being brought into beneficial use.
Reason: In the interests of residential amenities and to prevent misuse of the playing fields (LDP Policies KP5 and C3).
10. Prior to the commencement of above ground development details of thorny bushes to be planted to the north of plot 16's side rear garden wall shall be submitted to and approved by the Local Planning Authority and then implemented as approved.
Reason: In the interests of security (LDP Policies KP5 and C3).
11. No trees and shrubs shall be felled or otherwise removed within the bird nesting season (March – August).
Reason: To safeguard nesting birds (LDP Policy EN7)

RECOMMENDATION 2: The applicant is advised that section 3.25 of Planning Policy Wales states that the land use planning system should take account of the

conditions which are essential to the Welsh language and in so doing contribute to its use and the Thriving Welsh Language well-being goal. In this context and with regard to the Welsh Language (Wales) Measure 2011, it is recommended that: (1) developments adopt a Welsh name that is consistent with the local heritage and history of the area, (2) during the construction phase, on site marketing information (i.e. text on construction hoardings / flags / banners – as consented) be provided bilingually and (3) for commercial developments, shopfront / premises signage be provided in Welsh or bilingually. Where bilingual signage is provided, Welsh text must not be treated less favourably in terms of size, colour, font, prominence, position or location (it is recognised that Welsh translation does not extend to company / business names). Cardiff Council's Bilingual Cardiff team (BilingualCardiff@cardiff.gov.uk) can provide advice on unique and locally appropriate Welsh names for developments, bilingual marketing / branding and bilingual signage.

RECOMMENDATION 3: Since January 7th 2019, all new developments of more than 1 house, or where the construction area is 100 square metres or more, require sustainable drainage to manage on-site surface water. Surface water drainage systems must be designed and built in accordance with mandatory standards for sustainable drainage published by the Welsh Ministers. These systems must be approved by the local authority acting in its SuDS Approving Body (SAB) role before construction work begins. The SAB will have a duty to adopt compliant systems so long as they are built and function in accordance with the approved proposals, including any SAB conditions of approval. It is recommended that the developer engage in consultation with the Cardiff Council SAB team as the determining SuDS Approval Body (SAB) in relation to their proposals for SuDS features. To arrange discussion regarding this please contact SAB@cardiff.gov.uk.

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

1.1 The Reserved Matters application is submitted in discharge of the following conditions:

- Condition 1- reserved matters (layout, scale, appearance, access and landscaping);
- Condition 6 – Scaling;
- Condition 10 – Pavement;
- Condition 11 – Pedestrian Link;

The submission also seeks to show compliance with the following conditions:

- Condition 3 – Imported Topsoil;
- Condition 4 – Imported Aggregates;
- Condition 7 – Drainage Scheme;
- Condition 9 – Construction Method Statement
- Condition 12 – Details of Roads;
- Condition 13 – Turning Space within Site;
- Condition 14 – Car Parking and Cycle Storage;

- Condition 15 – Surface Water Highway Drainage
- 1.2 The development proposes a layout of 70 no. homes, access, landscaping, drainage and associated infrastructure. The proposed housing mix is as follows:
- Affordable Units**
- 2 no. 4 bed houses
 - 4 no. 3 bed houses
 - 6 no. 2 bed houses
 - 1 no. 2 bed bungalow
 - 7 no. 2 bed flat
 - 2 no. 2 accessible flat
- Sale**
- 8 no. 2 bed house
 - 9 no. 2 bed flat
 - 19 no 3 bed house
 - 12 no. 4 bed house
- 1.3 Condition 1 and condition 6 – Reserved Matters (layout, scale, appearance, access and landscaping). This condition relates to the reserved matters and is detailed in the submission of the full suite of architectural plans comprising the proposed layout and house types. The proposed site layout is similar to that approved under the outline planning application. The layout identifies 70 no. residential properties in two cul de sacs each of which has a separate access point from Willowbrook Drive and creates an eastern and western section to the site. From the main access roads access is provided either directly to driveways or to private driveways that serve up to 5 properties.
- 1.4 The scale of the properties is demonstrated within the proposed house type plans and site layout. This shows that properties are a mix of two storey semi-detached / detached dwellings, a bungalow and 2 no. three storey apartment blocks. Each type of property has a pitched roof. The properties vary in size based upon the number of bedrooms.
- 1.5 The proposed dwellings are generally in accordance with the scale parameters set out in drawing no. 2389(02)-108A of the previous approval:
- Maximum building size for 2 storey properties Height 8.5m Length 9.5m Width 6.5m
 - Maximum building size for 3 storey properties Height 13.5m Length 23m Width 18m
- 1.6 The appearance of the dwellings varies slightly based upon house type. The materials are slate grey roofs, insert panels of either natural timber or slate grey cedar click and buff clay multi or red clay multi brick for the houses with yellow clay multi facing brick for the apartments. The appearance of the dwellings is tenure neutral.
- 1.7 The proposal is supported by a green infrastructure statement which sets out

the landscape proposals for the site. Proposals for the site include the retention of the central tree corridor and the protection of existing trees adjacent to the northwest boundary of the site. Where the road does result in the removal of trees it is noted that the removal of these trees formed part of the outline consent.

- 1.8 A network of rain gardens and swales are also proposed on the site, which are planted with trees, shrubs, and grasses. Two detention basins are also proposed in the south and southeast of the site, which would partially fill with water during wet conditions. The sides of these basins will also be planted with shrubs and meadow grasses. The landscape strategy has been informed by ecological surveys undertaken at the site including the recent updated survey undertaken by Soltys Brewster. The scheme includes biodiversity enhancements such as planting of new native species, bat and bird boxes and new flower species. A key feature of the proposed residential development is the network of proposed rain gardens, swales, and detention basins. The proposed rain gardens and swales would be located alongside the main residential roads and in some front gardens.
- 1.9 The boundary treatments proposed comprises the following: -

Brick boundary wall (2.1m) adjoining public positions; Close boarded fences (1.8m) between rear gardens; Timber post and rail fencing (0.9m) to the south eastern apartment's amenity area; and Coloured metal railings (0.45m) to the playing field to the north.
- 1.10 The hard landscaping features, the highway and footpaths will be comprised of a mix of macadam for main highways, permeable paving for private driveways, stone dust to footpaths through the trees and concrete paving slabs for private footpaths.
- 1.11 Condition 10 of the outline consent requires a pavement along the front of the site facing both Willowbrook Drive and Crickhowell Road. This is shown on the site layout plan and will be constructed of concrete paving slabs.
- 1.12 Condition 11 of the outline consent requires a pedestrian link from the site to the playing field south of James Court. The footway is detailed on the layout plan
- 1.13 Details will be submitted in a discharge of the following conditions
 - Condition 3 – Imported Topsoil
The proposal is supported by a soil resource survey as part of the development strategy with the topsoil is to strip back and store in temporary stockpiles before it's reused for landscape purpose and residential back gardens. The purpose of the survey is to assess the quality of the site soils and to advise on their suitability for re use.
 - Condition 4 – Imported Aggregates;
This condition will be addressed upon the time of any aggregates being

imported into the site.

- Condition 7 – Drainage Scheme;

The proposal is supported by a proposed Drainage Layout produced by Grays alongside landscape plans which provide details in terms of surface water drainage. The proposed surface water drainage comprises a mix of permeable paving, rain gardens and SuDS features including basins. The foul drainage is proposed to connect to the existing mains sewer and is detailed on the accompanying drainage plans.

- Condition 9 – Construction Method Statement

A construction environmental method statement will be produced and submitted to discharge this condition.

- Condition 12 – Details of Roads;

This condition requires detailed plans showing the position and form of construction of all roads and footpaths within the site and the method of disposal of all surface water drainage. This information is contained within the suite of plans produced and submitted for the RM application. The proposed site layout, proposed landscape scheme and proposed drainage plan each demonstrate the form and construction of roads and footpaths alongside the method of disposal for surface water.

- Condition 13 – Turning Space within Site;

This condition requires details of a turning space within the curtilage of the site to enable vehicles to enter and leave the site in a forward gear. This is demonstrated on the site layout.

- Condition 14 – Car Parking and Cycle Storage;

This condition requires details of car parking and covered cycle storage. The proposed layout demonstrates the car parking within the site. Cycle storage areas have been designated within the site layout for the proposed apartment blocks. For residential properties cycle parking can be accommodated within the curtilage of dwellings. Each of the affordable units has a garden shed which can accommodate cycle parking. As there are no terraced properties proposed there will be no issues with bicycles needing to go through properties to get to parking areas.

- Condition 15 – Surface Water Highway Drainage

The details for the surface water highway drainage are discussed in conditions 7 and 12 as required by this condition.

1.14 The proposal is supported by a tree protection plan, arboricultural impact assessment and tree schedule which demonstrates the impact towards trees at the site. The site green infrastructure plan demonstrates the overall strategy for the proposed scheme.

2. **DESCRIPTION OF SITE**

2.1 The site is 2.8 ha in area and is relatively level. The site adjoins and is north of

the junction of Willowbrook Drive and Crickhowell Road.

- 2.2 The site is overgrown with trees and scrub. There is no existing vehicular or pedestrian access into the site which prevents general public use. The OS plan indicates a path across the site but it is not readily apparent on site and is not a registered Public Right of Way.
- 2.3 There are 4 football pitches laid out to the north east of the site. There is a bus stop on the eastern boundary of the site that lacks a connecting pavement.
- 2.4 The site lies within a predominantly residential area. Willowbrook Drive and Crickhowell Road lead to the District Centre, to the north, which is comprised of a supermarket and filling station, small retail units, a medical surgery, church, Library, Community Centre, and Police Station

3. **SITE HISTORY**

- 3.1 19/03260/MJR – Outline consent for VARIATION OF CONDITION 6 OF 16/01670/MJR TO AMEND THE SCALE PARAMETERS BY INCREASING THE PARAMETERS ASSOCIATED WITH THE TWO STOREY BUILDINGS AND INCORPORATE THREE STOREY FLATS INTO THE SCHEME approved 11/03/2021 subject to a S106 Agreement.
- 3.2 16/01670/MJR Outline consent for 70 NO. DWELLINGS ACCESSED FROM WILLOWBROOK DRIVE approved by the Planning Committee on 26/10/16 subject to a S106 Agreement.

4. **POLICY FRAMEWORK**

- 4.1 The following LDP policies are considered relevant
 - KP1 Level of Growth
 - KP5 Good Quality and Sustainable Design
 - KP6 New Infrastructure
 - KP7 Planning Obligations
 - KP8 Sustainable Transport
 - KP12 Waste
 - KP13 Responding to Evidenced Social Needs
 - KP14 Healthy Living
 - KP15 Climate Change
 - KP16 Green Infrastructure
 - H3 Affordable Housing
 - H6 Change of Use or Redevelopment to Residential Use
 - EN8 Trees, Woodlands and Hedgerows
 - EN12 Renewable Energy and Low Carbon Technologies
 - EN13 Air, Noise, Light Pollution and Contaminated Land
 - EN14 Flood Risk
 - T1 Walking and Cycling
 - T5 Managing Transport Impacts
 - T6 Impact on Transport Networks and Services

- C3 Community Safety / Creating Safe Environments
- W2 Provision for Waste Management Facilities in Development

4.2 In addition to the above policies, the following SPGs are considered to be relevant:

- Green Infrastructure (November 2017), comprising of: • Ecology and Biodiversity Technical Guidance Note • Trees and Development • Protection and Provision of Open Space in New Development • Soils and Development
- Waste Collection & Storage Facilities (October 2016);
- Planning Obligation (January 2017);
- Residential Design Guide (January 2017); and
- Managing Transportation Impacts (Incorporating Parking Standards) (July 2018).

4.3 PPW Wales (edition 11)

4.4 National Development Plan (Feb 2021)

5. **INTERNAL CONSULTEE RESPONSES**

5.1 Pollution Control state:

Shared Regulatory Services (SRS) Environment Team provides comments below in relation to land quality. The application is supported by the following documents:

Asbri Planning, 25/03/2021; Compliance Statement Letter Ref: 19.189

Tim O'Hare Associates LLP, 11 November 2020; Soils Resource Survey and Soil Resource Plan Ref: TOHA/20/6183/RH Issue 1

Although the application relates to Reserved Matters (Condition 1) of 19/03260/MJR, the Compliance Statement indicates that this submission also seeks to show compliance with Condition 3 (Imported Soil) and Condition 4 (Imported Aggregate) of 19/03260/MJR.

In general, the above Soils Resource Survey provides a suitable scheme for the reuse of site won topsoil and may form part of an appropriate submission in relation to the discharge of Condition 5 (Site Won Materials) of 19/03260/MJR.

Section 6.7.2, 6.10 and Appendix 4 of the above Soils Resource Survey refer to the use of imported topsoil and incorporate a proposed testing scheme and acceptance criteria. The applicant is advised that SRS cannot approve this as a scheme of investigation in relation to the requirements of Condition 3 of 19/03260/MJR. Further supporting information will be required and the current guidance for imported soils and aggregates is included with this memo to assist the applicant in this matter.

In relation to Condition 4 (Imported Aggregate), the above Compliance

Statement also states that this condition will be addressed upon the time of any aggregates being imported into the site. This is acknowledged and SRS refers the applicant to the requirements of Condition 4 prior to import and the current guidance for imported soils and aggregates.

(These comments have been shared with the applicant).

5.2 (a) The Tree Officer stated:

My primary concern in relation to the development aside from the loss of the 'B' category oaks T14, T15, T19 and T20, is the lack of provision for significant ecotones to protect the retained green corridors from encroachment within Root Protection Areas (RPAs), over-dominance problems associated with shading/anxiety caused by the presence of large trees/the fall of organic matter from trees, wind-tunnel effects caused by wind passing between building lines/highways and green corridors that have seen the buffering effect of surrounding vegetation lost due to its removal and potential sump effects where water collects within RPAs draining from surrounding land that has been subject to changes in level and surfacing. We are losing large areas of early successional woodland (you can call it 'scrub woodland') that attains 'C' categorisation due to its relatively small size, but this woodland functions as an ecotone to the larger trees on the hedge-banks, forming the dominant green corridors. I concur with the comments within the submitted Arboricultural Impact Assessment (AIA) in terms these impacts and would seek amendments to design to secure more robust ecotones to the dominant green corridors to minimise conflicts.

Everything possible should be done to retain the 'B' category oaks currently proposed for removal. Consideration should be given to amendments to the highway and culvert design that allow for oak T19 to be retained, for example.

Whilst I have no 'in principle' objections to the landscape design based on the current layout, I would wish to see changes in line with amendments to design as above. I concur with the submitted AIA in terms of its recommendation to introduce new native oaks as part of the planting scheme. The current design does not afford significant space for such (except in mitigation for the loss of T19), but oaks are clearly the dominant large species tree at the site and space should be created within the design to accommodate a significant component of new planting with specimen, native oaks. This will ensure a mixed age class structure is present – the loss of the 'scrub woodland' essentially pushes the onsite oaks into a more restricted age class and this may impact on the long-term sustainability of oak as a species at the site, particularly considering the potential pressure the existing large trees may come under as per my first paragraph. I also concur with the recommendation in the AIA in terms of the need for a Woodland and Hedgerow Management Plan. If the green infrastructure corridors are not subject to regular monitoring and management, they will become increasingly vulnerable to piecemeal, unsuitable management practices.

The submitted tree pit section needs to cross reference the submitted Soil

Resource Survey and Plan in terms of the soil specification. A detailed planting and aftercare methodology incorporating a topsoil and subsoil specification (based on the SRS & SRP) will be required and this needs to include full details of the imported soils for SuDS features.

Once the design is finalised an update AIA, Arboricultural Method Statement and finalised Tree Protection Plan will be required.

(b) and following a further submission from the applicant the Tree Officer stated:

I am aware that T19 is now to be retained. I think the comments quoted regarding T19 are from my initial consultation response? Other oaks are lost however and it is in this context that I am especially concerned to see provision for mitigation planting with new oaks. I should be happy to review amended planting plans accordingly. A Hedgerow and Woodland Management Plan could be conditioned as part of any permission, though I always prefer as much information upfront as possible.

5.3 The Waste Officer states:

Houses – 52 dwellings

Each property will require the following for recycling and waste collections:

- 1 x 140 litre bin for general waste
- 1 x 240 litre bin for garden waste
- 1 x 25 litre kerbside caddy for food waste
- Green bags for mixed recycling (equivalent to 140 litres)

The storage of the bin provision must be sensitively integrated into the design.

Apartments – 18

The proposed bin storage areas and bulky waste areas have been noted and are acceptable.

Each block will require the following for waste and recycling collections:

- 1 x 1100L bin for general waste
- 1 x 1100L bin for recycling
- 1 x 240 litre bin for food waste

Communal bin stores should have double doors that open outward. Surfaces should be smooth and impervious to permit cleaning and the floor must be laid to create suitable drainage. Adequate artificial lighting must be provided and good natural ventilation if completely enclosed.

The developer is advised; as bulk containers are specified for this development, access paths to the kerbside for collection should be at least 1.5 metres wide, clear of obstruction, of a smooth surface with no steps. Dropped kerbs should also be provided to ensure safe handling of bulk bins to the collection vehicle.

Access

Vehicle tracking has been noted and is acceptable.

All road surfacing must have suitable foundations to withstand the weight of a refuse collection vehicle (27 tonnes). Block paving is not appropriate as it can break/sink over time, particularly where vehicles are manoeuvring.

Waste is not collected from private drives.

Refuse collectors are not expected to walk further than 25 metres from the vehicle to collect the waste. If the proposed distance from the property to the vehicle is further than this collection points will need to be set up.

General comments

The kitchens should be designed to allow the separation of waste into three waste streams; general, recycling and food waste, in order to encourage the correct disposal of waste.

Please refer the agent/architect to the Waste Collection and Storage Facilities Supplementary Planning Guidance for further relevant information.

(The Waste Officer's comments have been shared with the applicant. The Waste Officer was seeking a financial contribution but this could not be required by a further S106 at the reserved matters stage).

- 5.4 The Transport Officer has raised no objections to the amended plans and considers the footways and the removal of the narrow raised service strips to be suitable.

6. **EXTERNAL CONSULTEE RESPONSES**

6.1 Welsh Water states:

Having reviewed the submitted documents for this application, we note the applicant has submitted a proposed drainage layout of which shows surface water to be discharged to a watercourse. We can confirm we have no objections to the principle of this proposed surface water discharge (subject to approval from the riparian owner). However no plan has been submitted showing in detail the proposed foul connection point to the public sewerage network for the discharge of foul flows from the development site. We do however note the applicant will also be required to discharge condition 7 of the original permission of which seeks the submission and approval of a detailed drainage scheme for the development. Therefore whilst we can confirm we have no objections to this application, we kindly request to be consulted on any future application to discharge condition 7 of the original planning permission.

SEWAGE TREATMENT

No problems are envisaged with the Waste Water Treatment Works for the treatment of domestic discharges from this site.

WATER SUPPLY

Dwr Cymru Welsh Water has no objection to the proposed development.

A water supply can be made available to serve this proposed development. The developer may be required to contribute, under Sections 40 - 41 of the Water Industry Act 1991, towards the provision of new off-site and/or on-site watermains and associated infrastructure. The level of contribution can be calculated upon receipt of detailed site layout plans which should be sent to the address above.

Our response is based on the information provided by your application. Should the proposal alter during the course of the application process we kindly request that we are re-consulted and reserve the right to make new representation.

6.2 South Wales Police state:

I am pleased all the vehicle parking bays are within curtilage and/or overlooked. Where there is rear parking the parking bays are in the rear gardens of the properties and are protected by gates.

In respect of the footpath connection that runs from plot 16-61 where it gives access to a rear garden i.e. at plot 16 I would ask for the perimeter security to have additional protection in the form of defensible planting e.g. thorny bushes.

Pedestrian routes must be designed to ensure that they are visually open, direct, overlooked, lit and well used. They must not undermine the defensible space of neighbourhoods. Routes must not ideally be segregated from one another or provide access to rear gardens as such paths have been proven to generate crime. Paths ideally should be 3 metres wide.

Entry onto the estate must be restricted to the designated routes.

(ii) Lighting

Lighting on the estate must meet the British Standard 5489:2013.

(iii) Boundary identification

Defensible space using symbolic barriers e.g. pillars, rumble strip, or a change of road surface, i.e. colour or texture, must be built into the design to encourage a feeling of territoriality amongst users especially at the entrance to the development.

There must be a change of surface, i.e. colour or texture, to identify public areas

from private or semi-private areas e.g. the footpaths from the driveways/front gardens.

Preferably front boundaries would be identified by low walls and gates.

(iv) Landscaping and planting

Overgrown shrubs and other thick barriers that are in close proximity to public areas must be avoided and clear sightlines must be maintained over long distances. Windows and doors must not be obscured by landscaping features and trees in public areas must not have any foliage below 2 metres from the ground.

Trees and other landscaping features must not be positioned where they could create hiding/entrapment spaces, obscure signage and lighting or provide a potential climbing aid into properties.

There must be clear lines of sight across the development and clear unobstructed views of the parking bays from the properties.

(v) Vehicle parking

Vehicle parking should be within curtilage and must be overlooked preferably by rooms in the properties ideally, that are usually occupied e.g. living rooms, kitchens.

During the hours of darkness, the bays must be well illuminated, and they must enjoy good natural surveillance from the properties with unobstructed views.

(vi) Side and rear boundaries

The walls/fencing and gates preventing access to the rear and sides of the properties should be robust, at least 1.8 metres high (2 metres high if the side or rear gardens are adjacent to open land or a footpath). To prevent it being climbed the perimeter security must be of a suitable design.

Gates must be lockable both sides with a key, the same height as the adjacent wall/fencing and sited at, or as near to, the front building line of the properties as possible.

Rear and side gardens must be secure areas.

(vii) Garden sheds

Garden sheds should be sited away from the rear fencing or walls to prevent assisting people in climbing over them.

(viii) Bin stores

Bins must be kept in secure areas e.g. rear gardens.

(ix) Bicycle stores

Bike stores must be secure, lit and overlooked by the properties (please visit www.securedbydesign.com for more information).

(x) Security lighting

Security lighting should be installed controlled preferably by photo electric cells or time switches or alternatively PIR detectors. The lighting should protect the rears and sides of the homes, the parking bays and the driveways.

Callers at the external doors of the properties must be lit during the hours of darkness by appropriate lighting.

(xi) Drainpipes

If the drainpipes of the properties are not within the fabric of the buildings they must be designed so that they do not offer an assist to climbing.

(xii) Blank walls

Windowless elevations or blank walls adjacent to space to which the public have access, should be avoided and provide at least one window to a habitable room wherever possible. Where blank flanking walls are unavoidable, a 1 metre 'buffer zone' must be created.

(xiii) Public utilities

If smart meters are not installed, meter boxes must be fixed to, or as near to, the front building lines of the properties as possible.

(xiv) Access control

Access into apartment blocks should be controlled if there are 4 or more apartments using one communal entrance. Entry should be controlled by access control with audio and visual verification fitted.

(xv) Door security

All external doors in the properties must meet the standard PAS 24 2016 or equivalent and should be third party tested and certificated. The entrance doors into the apartment blocks must also meet the same standards.

The individual apartment external doors must also meet the standard PAS 24 2016 or equivalent and also should be third party tested and certificated.

Doors that are described as fire doors, or where fire performance is declared or implied, are required to have third-party certification for both security and fire performance. Fire doors must have no external furniture fitted.

Glass in door panels or adjacent to door panels must be laminated.

Doors in recesses of more than 600mm must be avoided.

(xvi) Window security

All vulnerable windows fitted, e.g. ground floor windows, windows above flat roofs, must meet the PAS 24 2016 or equivalent and should be third party tested and certificated. They should also have key operated window locks fitted.

(xvii) Intruder alarm system

A 13 amp fused spur should be installed in each individual property. Ideally all properties would have an intruder alarm fitted up to the relevant British Standard.

(xviii) Identification of properties

Property numbers and street names must be clearly displayed.

Further more detailed information can be found by visiting the Secured by Design website www.securedbydesign.com .

(These comments have been shared with the applicant).

6.3 Glamorgan Gwent Archaeological Trust states:

We have consulted the regional Historic Environment Record and note the completion of an archaeological evaluation in 2016 by Archaeology Wales. Eight trenches were excavated (T3-10), two of which showed shallow linear features, and which were modern in nature. The other trenches were negative for archaeological deposits and no other features were encountered.

The reserved matters addressed in this application are for layout, scale, appearance, access and landscaping. As such they do not relate to any archaeological constraints or conditions. Therefore we do not have any further comments on this application.

7. **REPRESENTATIONS**

7.1 Local Members have been consulted. No comments have been received to date but will be reported to Committee if received.

7.2 The proposal has been advertised in the press and by site notices as a major application on 22/4/2021.

7.3 Neighbouring occupiers were consulted by letter.

7.4 Objections have been received from the occupiers of 4 properties for the

various following reasons:

Object to 70 social houses, excessive amount of council and social housing recently being built within this locality causing an increment of antisocial behaviour and criminality.

Excessive amounts of new residential areas are being built within the East of Cardiff however commodities and facilities are not improving such as leisure centres, pharmacies, GP surgeries, school places and police surveillance and support. There are insufficient local amenities to support this development in addition to the other developments already underway in the local area.

This development on green space within St Mellons will have a detrimental impact on the community as it is one of few large open spaces available to local residents. Green areas are essential for the physical and mental wellbeing of the people especially during difficult times. It has been proved that physical exercise it helps to prevent diseases such as coronavirus and cardiovascular diseases. And limiting the greenery surrounding this locality of St Mellons will be detrimental for the citizens' health and wellbeing.

This area is already degraded in comparison with other prosperous areas such as Cyncoed and Penylan where such projects are not even explored. This space does not have the prestige of areas such as Bute Park or Roath Lake / Recreation Ground, this development would not be permitted to proceed in more affluent areas of the City

The transport infrastructure is already under significant strain, particularly during peak times. Outside of COVID-19 lockdowns, traffic on Cypress Drive would be at a standstill during peak times with significant, unacceptable delays. Each morning, travel from Willowdene Way to join the A48 at St Mellons can take upwards of 45 minutes - a journey that would take around 1-2 minutes if free from traffic.

Alternative transport infrastructure is insufficient (bus / cycle) to link from St Mellons to Cardiff East P&R or UHW. The A48 is a key link road for St Mellons and this will add additional strain to a local transport system which is already unable to cope. The St Mellons Parkway development will not ease this strain.

(One of the objectors resides 300m from the site, the second 600m from the site, the third a kilometre from the site, and the fourth resides in the new Willowbrook development by Wates)

8. **ANALYSIS**

Policy

- 8.1 The application site lies within the settlement boundary as defined by the Adopted LDP proposals map and has no specific land use allocation or designation.

- 8.2 The surrounding area is predominantly residential in nature.
- 8.3 The proposal has been assessed against Policy H6: Change of Use or Redevelopment to Residential Use. Policy H6 provides a framework for the assessment of applications for the redevelopment of previously developed land for residential purposes within settlement boundaries where:
- i. There is no overriding need to retain the existing use of the land or premises and no overriding alternative local land use requirement;
 - ii. The resulting residential accommodation and amenity will be satisfactory;
 - iii. There will be no unacceptable impact on the operating conditions of existing businesses;
 - iv. Necessary community and transportation facilities are accessible or can be readily provided or improved; and
 - v. It can be demonstrated that the change of use to a more sensitive end use has been assessed in terms of land contamination risk and that there are no unacceptable risks to the end users.
- 8.4 Policy KP1 relates to level of growth and states that “brownfield sites will continue to play an important role and windfall provisions will form part of the provision for new homes as land uses within the city continue to evolve”.
- 8.5 Policy KP5 relates to Good Quality and Sustainable Design and requires all new development “to be of a high quality, sustainable design and make a positive contribution to the creation of distinctive communities, places and spaces by responding to the local character and context of the built and landscape setting”. It also aims to provide “healthy and convenient environment for all users that supports the principles of community safety, encourages walking and cycling, enables employment, essential services and community facilities to be accessible by sustainable transport and maximises the contribution of networks of multi-functional and connected open spaces to encourage healthier lifestyles”. Linking to Policy T1 which aims to promote walking and cycling through providing access to employment, essential services, and community facilities within an accessible distance.
- 8.6 Policy KP13 (Responding to Evidenced Social Needs) is of relevance, stating that “a key part of the successful progression of the city will be to develop sustainable neighbourhoods, tackle deprivation, and improve the quality of life for all”. It sets an affordable housing target of 6,646, which will be achieved through a set of objectives including:
- Providing a range of dwelling sizes, types, and affordability.
 - Supporting the vitality, viability and attractiveness of existing District and Local Centres and their regeneration.
 - Encouraging provision of a full range of facilities and community infrastructure that are accessible to all by walking, cycling and public transport.
 - Supporting regeneration of deprived communities within the city.
 - Encouraging enhancements of communities through better equality of access to services for all, creating places that encourage social interaction and cohesion.

- Designing out crime and create communities which are and feel safer.
- 8.7 In line with policy KP13, policy H3 (affordable housing) aims to assist the Council to meet evidenced housing need by seeking appropriate affordable housing contribution from new residential developments in the city.
- 8.8 In this case 30% of the dwellings to be constructed will be affordable.
- 8.9 Policy H6 (Change of use or redevelopment to residential use) deems it acceptable for redevelopment to residential use when land is no longer required for its existing or former use, the development contributes to meeting housing requirements and that necessary community and transportation facilities are accessible or can be readily provided or improved.
- 8.10 Given the residential context and setting of the surrounding area, in a sustainable location, in close proximity a number of shops, services and sustainable modes of transport, the proposal raises no land use policy concerns.

Transportation

- 8.11 All houses will have back gardens which incorporate bike storage. This is subject to condition 14 of the outline consent that states:

Prior to any development commencing details of car parking and covered cycle storage shall be submitted to and approved by the Local Planning Authority. The approved details shall be implemented prior to the dwellings they serve being occupied and the approved car parking and covered cycle storage shall be maintained and retained for the approved uses thereafter.

Reason: To provide adequate car and cycle parking for future occupants (LDP policies T1 and T5).

- 8.12 This will allow residents to easily access their bikes without going through their houses, and aim to encourage them to use their bikes more frequently. The new footpath on-site to the North will link the proposal into its surrounding context to allow safe and easy access throughout the site.
- 8.13 The houses and bungalow will each have 2 car parking spaces and the apartments will have 9 and 11 (one of the apartments is likely to be able to accommodate visitor parking on street whilst the other one is less likely to do so, which is likely to explain the difference in apartment parking proposed).
- 8.14 The Transport Officer has no objection subject to conditions.

Ecology

- 8.15 NRW and the Council's ecologist have not submitted any adverse comments during the processing of this and earlier applications. Four integrated bat boxes, four integrated swift boxes, two house martin double cups and two integrated sparrow terrace boxes are proposed on various houses and apartments.

Proposed condition 11 is recommended to safeguard nesting birds.

Landscaping

- 8.16 Some C trees will be lost to facilitate development and these were generally indicated at the outline stage. The retained central band will be 13m wide between a private driveway and a footpath connection. Groups of trees will be retained and over 60 new trees will be planted. Subject to conditions 2, 3, 4 and 6 identified in the recommendation it is considered that tree loss can be mitigated. None of the trees are TPO.
- 8.17 The Tree Officer has expressed concern for replacement oak planting and the lack of detail concerning the treatment and management of ecotones and adjoining woodland/hedgerow features. The applicant in response has determined an area which has potential to provide additional Oak tree planting in the south eastern corner of the site. To fully determine the areas that could accommodate Oak tree planting further arboricultural survey work is needed albeit this survey work cannot be undertaken until the site is cleared as it is too dense with shrub / vegetation growth to access. There is a recommended condition to avoid clearance of this area until bird nesting season have finished i.e. March – August.
- 8.18 The applicant's landscape consultant advised that to accommodate a proposed Oak tree in the southeast of the site they would need a cubic area of 30m³ (assumes 900mm depth), which is the soil volume required for proposing large trees. The southeast area covers an area of roughly 990m² (excluding the proposed SuDs features), of which 34m² would be needed to accommodate the cubic volume of soil for a proposed Oak. Once the detailed tree survey of the southeast area has been undertaken it is believed that a suitable location for a proposed Oak could be found.
- 8.19 The applicant has discussed this with his arboricultural consultant and considers that a suitably worded condition would be reasonable to allow a determination at this stage. The applicant asks whether a Woodland and Hedgerow Management Plan be condition to resolve this issue. Whilst the Tree Officer would prefer this information in advance it is considered that the proposed landscaping conditions will satisfactorily address the concerns identified.

Energy Efficiency

- 8.20 By applying the Cardiff Design Standard, the proposals will contribute to energy efficiency and carbon reduction by the following means:
- By ensuring that the airtightness, ventilation, thermal bridging, lighting and insulation qualities of the walls, floor, roof, windows & external doors exceed the minimum standards required by the current Building Regulations and incorporate the enhanced Fabric Energy Efficiency requirements set out within the Cardiff Design Standard so as to achieve a 17% uplift in performance over Approved Document L1a 2014 (Wales)
 - Providing the opportunity through orientation of properties to accommodate

the future installation of solar water heating or photovoltaic panels

- 8.21 In addition to the enhanced energy performance outlined above the Cardiff Design Standard establishes the following requirements;
- 80% of site timber is reclaimed, re-used or responsibly sourced
 - Zero waste on site
 - Internal potable water consumption shall be determined using the water calculator methodology in Part G of the Building Regulations
- 8.22 The applicant says that together with the integrated design approach to Sustainable Urban Drainage Systems (SuDS) and compliance with Cardiff Council's Waste Collection and Storage Facilities SPG, adherence to the Cardiff Design Standard therefore ensures that the proposals demonstrate a clear commitment to achieving the aims set out in TAN 12, as follows:
- To use sustainable materials with low environmental impact (embodied energy) that are sourced sustainably (i.e. Forestry Stewardship Council timber) as well as maximising the use of used, reclaimed and recycled materials.
 - To employ a sustainable approach to water in terms of its supply (rainwater harvesting/flow restriction), demand management (use efficiency) and drainage (SUDs) and its effect on the local water table
 - To deal with waste management both during and after construction (re-use & disposal), including the provision of appropriate facilities for sorting, storing and recycling of waste in buildings and across the site
 - To demonstrate climate resilience by taking into account the climate the development is likely to experience over its lifetime by managing & minimising climate change effects (e.g. extreme temperatures)
- 8.23 To further encourage environmental sustainability, residents will have individual bike stores in their gardens to promote the more frequent use of bikes.

Waste

- 8.24 During the construction, the Contractor will operate a construction stage site waste management plan to minimise site waste.
- 8.25 The proposed residential dwellings can accommodate refuse storage within their curtilage. For the proposed apartment blocks communal bins stores are located adjacent to the highways. The comments go on to indicate Communal bin stores should have double doors that open outward with retainers. Surfaces should be smooth and impervious to permit cleaning and the floor must be laid to create suitable drainage. Adequate artificial lighting must be provided and good natural ventilation if completely enclosed. The design of apartment bin stores are covered by proposed condition 8. In addition, vehicle tracking has been provided and is submitted in support of the application.
- 8.26 The Waste Officer has no objections.

Drainage

- 8.27 A below ground water storage is proposed to be provided by a combination of open graded subbase underneath the permeable paving construction and supplementary below ground cellular storage tanks. Whilst it is noted that directing surface water into above ground solutions is preferred, the site offers limited scope for this. The developer is going to utilise permeable paving within the shared private drive and courtyard area, as the SAB does not support its use for individual driveways, it will not be used in these locations. Therefore, in addition to below ground water storage, rain gardens are proposed along the communal areas of the southern and eastern boundary. The landscaping scheme ties into the SuDS strategy, with tree and shrub planting addressing the SuDS guidance on surface water drainage.
- 8.28 Proposed trees and shrub planting that can tolerate wet and dry conditions would be planted in the features described above to enhance habitat and biodiversity interest, whilst enhancing the green infrastructure on the site.
- 8.29 Welsh Water raised no objection subject to a condition.

Flooding

- 8.30 The Welsh Government Development Advice Maps show the site to be within Flood Zone B, which demarks areas known to have flooded in the past. A small area of land within the north-western corner of the site is within Flood Zone A. NRW has raised no objection to this proposal or the previous applications on this site.

Heritage context

- 8.31 In relation to heritage assets, the site is remote from anything of value. The site is not within a conservation area, nor does it contain or is near any listed buildings. There are no Scheduled Ancient Monuments, Registered Parks and Gardens or other heritage assets within the vicinity of the site which have the potential to be affected by the development proposals.
- 8.32 GGAT has no objection.

Layout/Design

- 8.33 Overall the appearance of the proposed properties is considered to be in keeping with the character and appearance of the recent Wates development at Willowbrook. The design of that development is well considered and was submitted for an RTPI award.
- 8.34 The road has been carefully designed to limit the number of trees to be removed which provides a betterment in terms of what was originally agreed at the outline stage. Existing trees in the northeast and southeast of the site are to be retained.

- 8.35 The plans demonstrate the site can be developed to accommodate 70 residential dwellings that are in keeping with the character and context of the surrounding area and provide for permeability. The proposal complies with the Council's Residential Design Guide.

Representations

- 8.36 Outline planning permission for residential development has previously been granted on this site. The Local Planning Authority has previously agreed that the development of this site for 70 dwellings is acceptable. No objections were received from local residents to the previous outline applications that established the principle and number of units on this site.
- 8.37 The reserved matters application is for 22 affordable units and 48 open market units. The recent development by Wates at Willowbrook was for 58 affordable units and 134 open market units. The objector is mistaken in a belief that the development is exclusively for social housing.
- 8.38 The Police have no objection to this development.
- 8.39 The site is close to a school and a District Centre that includes a large supermarket. No objection was received from Education at the outline stage. The outline consent is subject of a S106 Agreement that requires a £249K to improve local education facilities.
- 8.40 The Parks Officer raised no objection to the original application. The land is overgrown and appears to be unused or very difficult to use for any recreational value. The site immediately adjoins large playing fields which are unaffected by this development other than access to one of the pitches will be improved from the south. The outline consent is subject of a S106 Agreement that requires a £20K contribution for improvements to local off-site POS. Whilst scrub trees will be lost several trees and groups of trees will be retained and over 60 new trees will be planted.
- 8.41 The Transport Officer has no objections to the proposal. Pedestrian access to the nearest bus stop and a pavement along the front of the site are to be created, which are all enhancements.
- 8.42 If an application for a similar development were submitted in a different part of Cardiff it would be assessed against the LDP and on its own particular merits. In the case of the Partnership site developments they are carried out on available Council owned land.

Crime and Disorder

- 8.43 Section 17(1) of the Crime and Disorder Act 1998 imposes a duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. South Wales Police have raised no objections.

Their comments have been shared with the applicant and their principal concern addressed by proposed condition 10.

Equalities Act

- 8.44 The Equality Act 2010 identifies a number of 'protected characteristics', namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. The Council's duty under the above Act has been given due consideration in the determination of this application. It is considered that the proposed development does not have any significant implications for, or effect on, persons who share a protected characteristic. The Housing Department has assessed the mix of affordable accommodation required on this particular site. The open market housing provides a mix of housing types and sizes.

Wellbeing

- 8.45 Section 3 of the Well-Being of Future Generations Act 2016 imposes a duty on public bodies to carry out sustainable development in accordance with the sustainable development principle to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (Section 5). This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable impact upon the achievement of wellbeing objectives as a result of the recommended decision. The proposed affordable accommodation (22 units) will help promote wellbeing by the provision of good quality homes for future occupants in need of such accommodation.



District Centre

Cath Cob Woods

Playing Fields

Playing Fields

Willowbrook Drive

Site

Crickhowell Road

© 2020 Google



Schedule of Accommodation			
Affordable			
A3	6p4b House	02 No.	
A2	5p3b House	04 No.	
B1	4p2b Bungalow	06 No.	
	3p2b Flat	01 No.	
FB.A	3p2b Flat	07 No.	
FB.A	1b accessible Flat	02 No.	
		Total	22 No.

Sale			
A	2bed House	04 No.	
B	2bed House	04 No.	
Flat B.B	2bed Flat	09 No.	
C2	3bed House	08 No.	
D	3bed House	06 No.	
D1	3bed House	05 No.	
H	4bed House	04 No.	
K	4bed House	08 No.	
		Total	48 No.

- Site Key**
- Existing S.W Drain Easement zone
 - Existing trees to be retained with SPA's shown dotted.
 - Existing trees removed.
 - Existing site levels
 - Proposed SuD areas (Rain garden/Bio Retention) with plantings to landscape architects design.
 - Areas available for soft landscaping. See landscape consultant's plan for planting proposal details.
 - Granite rubble strip
 - Proposed Culvert (See Grays Engineers dwgs for details)
 - Areas of coloured lamac
 - Adoptable highway pavements to be Tolermore Tegula 'slate' Paving
 - Shared drives to be Tolermore Tegula 'blackout' paving
 - Areas of concrete paving slabs to footpaths and patios
 - Proposed Stone Dust Informal pedestrian path
 - Garden sheds for Affordable units 2.4 x 1.2m shed for 2/3 Bed units
 - 2.4 x 2m shed for 4 Bed units
 - Clothes drying rotary lines for Affordable units
 - 'Brook Wardle' secured bike store for 10 No. bicycles.
 - 450mm High coloured metal railings comprised with:
 - matching vehicular gate
 - matching pedestrian barrier (colour and detail design to be agreed)
 - 900mm High timber post and rail fence
 - 450mm High dwarf brick wall with 900mm High metal railings
 - 1.8 m High close boarded timber fence
 - 2.1 m High brick boundary wall
 - 1.8m High pedestrian gate to match boundary fence / wall
 - 1.1m high handrails to the culvert head and wing walls. (See Grays Engineers dwgs for details)
- Ecological Key**
- Integrated Bat Box - Ibstock enclosed Bat Box 'C'
 - Integrated Swift Box - Ibstock Eco habitat for Swifts
 - House martin double cups - Schwegerler 9A House Martin Nest double cup.
 - Integrated Sparrow terrace - Vivara pro House Sparrow Nest Box
- Please note:**
- Existing trees and their root zone extent are to be referred to Tree Survey and report
 - All Sale units will have non closure bins area allocated in their rear gardens adjacent to their pedestrian gates
 - All SuD's features including ponds are to be referred to Engineer's dwgs and reports
 - position of culvert headwalls subject to Road Safety Audit and discussions with the Tree Officer

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rev	date	description	by
H	23.06.2021	Existing tree T19 retained, adjacent culvert revised, road surface materials indicated	WMM
I	13.07.2021	Proposed highway designs revised to meet Highway requirements	WMM

Status: **PLANNING**

Drawn: WMM
 Checked: -
 Date: 09.10.2020
 Scale: 1:500 @ A1

Client: Wates Residential Limited
 Project: Willowbrook Drive - North Site
 Title: Site Layout
 Ref: 2389-00(03)101

Rev: I





Scene A - A



Scene B - B



Scene C - C



Key Plan - Section Locations
Scale - 1:1250

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rev	date	description
A	02.10.20	Revised street scene elevation to match site layout.

by
SC

Status:

PLANNING

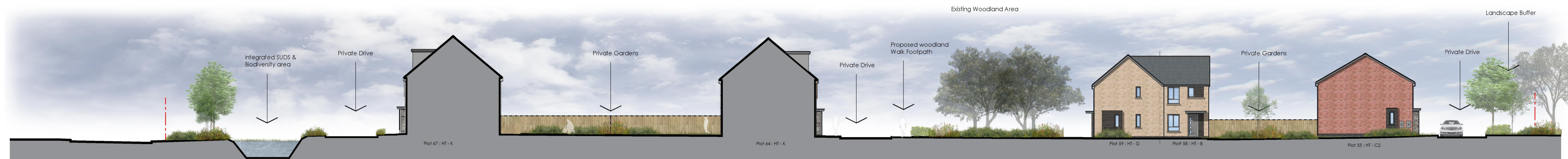
Drawn: SC
Checked: -
Date: Mar20
Scale: 1:200 @A1

Client: Wates Residential Limited
Project: Willowbrook Drive - North Site
Title: Street Scene & Site Sections A-A, B-B & C-C
Ref: 2389-00(03)-400A Rev: A

spring
design
Unit 2 Chapel Barns | Merthyr Mawr
Bridgend | CF32 0LS | 01656 656267
mail@spring-consultancy.co.uk



Scene D - D



Scene E - E



Scene F - F



Scene G - G



Key Plan - Section Locations
Scale - 1:1250

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rev	date	description	by
A	02.10.20	Revised street scene elevation to match site layout.	SC

Status:

PLANNING

Drawn:	SC
Checked:	-
Date:	Mar20
Scale:	1:200 @ A1

Client:	Wates Residential Limited
Project:	Willowbrook Drive - North Site
Title:	Street Scene & Site Sections D-D, E-E, F-F & G-G
Ref:	2389-00(03)-401A
Rev:	A



Aerial view from South - East corner of the site.

Status: Preliminary

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rev	date	description

by

Drawn:	SC	Client:	Wates Residential Limited
Checked:		Project:	Willowbrook Drive North Site
Date:	Nov'20	Title:	CGI Aerial Views & Street Scenes 14
Scale:	N.T.S.	Ref:	2389(03)513

Rev:



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Aerial view from South looking onto Willowbrook Drive road.

Status: Preliminary

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rev	date	description
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by

Drawn:	SC	Client:	Wates Residential Limited
Checked:		Project:	Willowbrook Drive North Site
Date:	Nov'20	Title:	CGI Aerial Views & Street Scenes 15
Scale:	N.T.S.	Ref:	2389(03)514
		Rev:	



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Aerial view from South - West looking onto Willowbrook Drive road.

Status: Preliminary

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rev	date	description
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by

Drawn:	SC	Client:	Wates Residential Limited
Checked:		Project:	Willowbrook Drive North Site
Date:	Nov'20	Title:	CGI Aerial Views & Street Scenes 16
Scale:	N.T.S.	Ref:	2389(03)515

Rev:



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Aerial view from North - East looking onto existing public playing field.

Status: Preliminary

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rev	date	description

by

Drawn:	SC	Client:	Wates Residential Limited
Checked:		Project:	Willowbrook Drive North Site
Date:	Nov'20	Title:	CGI Aerial Views & Street Scenes 17
Scale:	N.T.S.	Ref:	2389(03)516
		Rev:	



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Aerial view from North looking towards South of the site.

Status: Preliminary

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rev	date	description
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by

Drawn:	SC	Client:	Wates Residential Limited
Checked:		Project:	Willowbrook Drive North Site
Date:	Nov'20	Title:	CGI Aerial Views & Street Scenes 18
Scale:	N.T.S.	Ref:	2389(03)517

Rev:



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Aerial view from North - West looking onto private drive.

Status: Preliminary

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rev	date	description

by

Drawn:	SC	Client:	Wates Residential Limited
Checked:		Project:	Willowbrook Drive North Site
Date:	Nov'20	Title:	CGI Aerial Views & Street Scenes 19
Scale:	N.T.S.	Ref:	2389(03)518
		Rev:	



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Willowbrook North

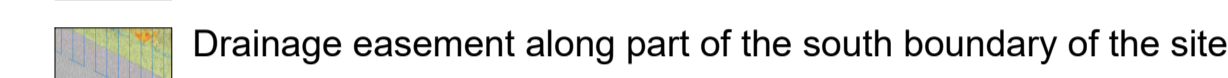
Soft Landscape 1 of 3

WBN.LA.101 Rev B

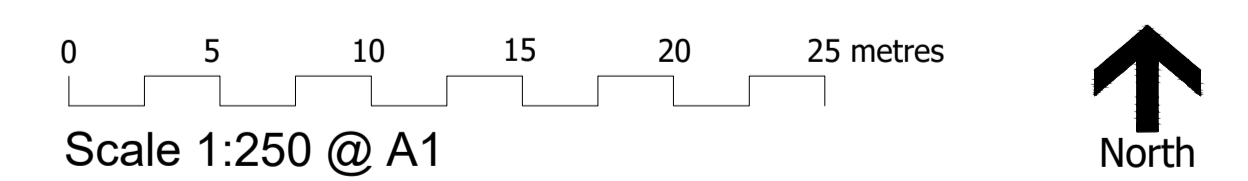
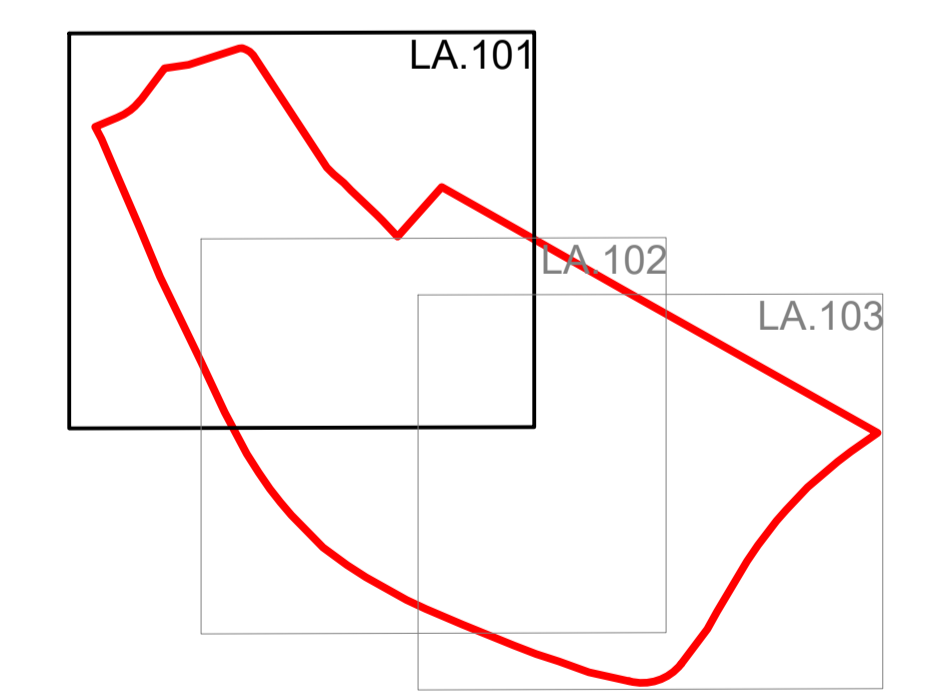
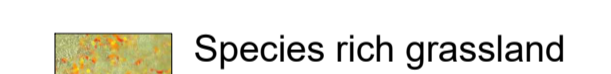
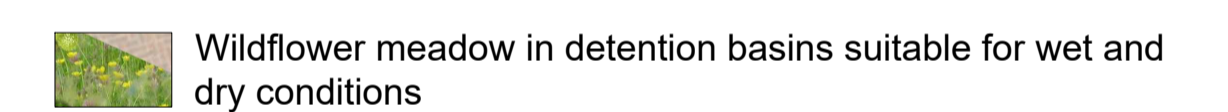
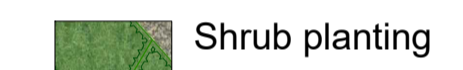
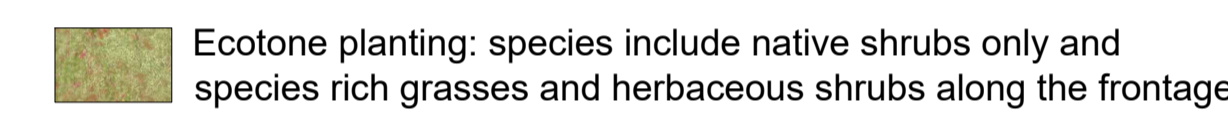
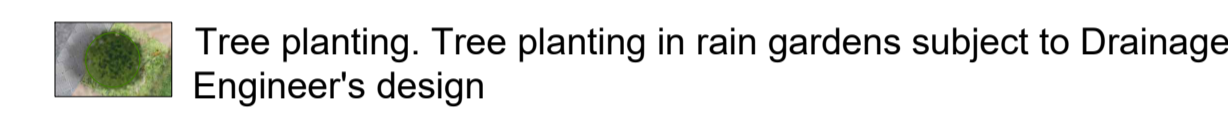
Key



Existing features



Proposed soft landscape



A108991-4 WBN.LA 100-106 [B].dwg 14 July 2021




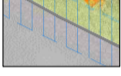








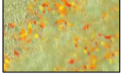


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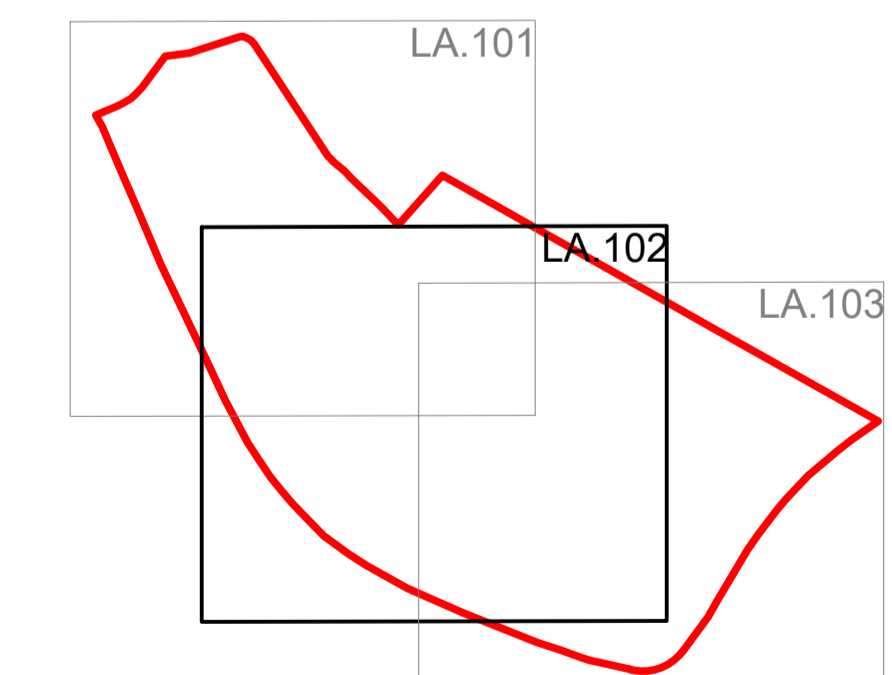
Willowbrook North

Soft Landscape 2 of 3

WBN.LA.102 Rev B

Key

-  Site Boundary
-  Retained trees and Root Protection Areas (RPAs)
-  Removed trees
-  Drainage easement along part of the south boundary of the site
- Proposed soft landscape**
-  Tree planting. Tree planting in rain gardens subject to Drainage Engineer's design
-  Tree planting in rear gardens
-  Hedge planting
-  Ecotone planting: species include native shrubs only and species rich grasses and herbaceous shrubs along the frontage
-  Shrub planting
-  Specimen shrubs
-  Rain garden / SuDs feature planting and planting around detention basins
-  Rain garden planting in front gardens
-  Wildflower meadow in detention basins suitable for wet and dry conditions
-  Species rich grassland
-  Amenity grass
-  Private gardens



0 5 10 15 20 25 metres

Scale 1:250 @ A1



A108991-4 WBN.LA 100-106 [B].dwg

14 July 2021

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Willowbrook North

Soft Landscape 3 of 3

WBN.LA.103 Rev B

Key

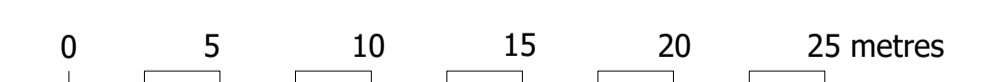
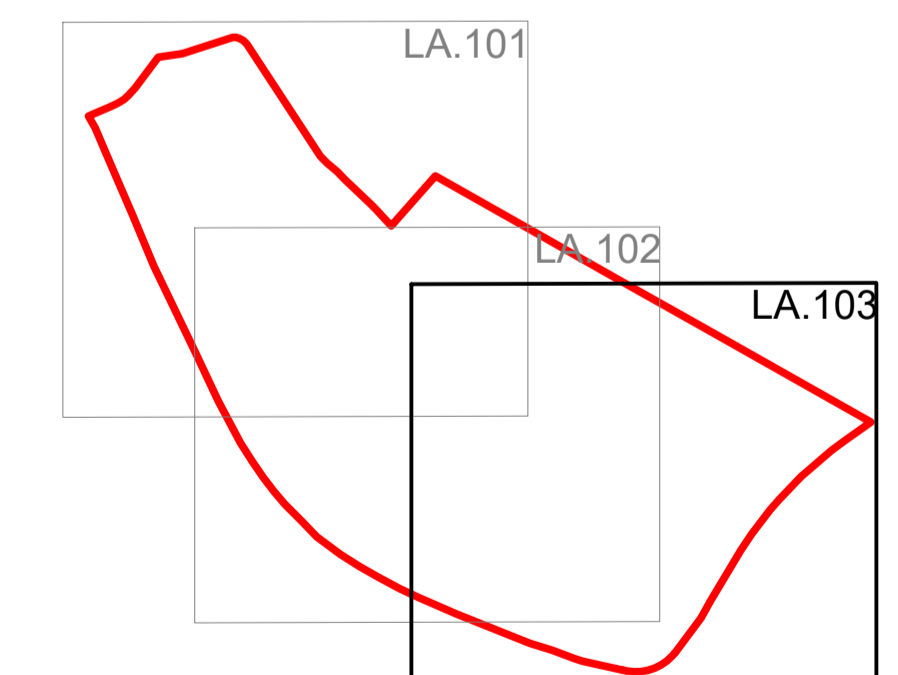


Existing features

- Retained trees and Root Protection Areas (RPAs)
- Removed trees
- Drainage easement along part of the south boundary of the site

Proposed soft landscape

- Tree planting. Tree planting in rain gardens subject to Drainage Engineer's design
- Tree planting in rear gardens
- Hedge planting
- Ecotone planting: species include native shrubs only and species rich grasses and herbaceous shrubs along the frontage
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- Species rich grassland
- Amenity grass
- Private gardens



Scale 1:250 @ A1



A108991-4 WBN.LA 100-106 [B].dwg 14 July 2021

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Cardiff Council : Strategic Planning And Environment : Development Control

Applications Decided between 05/07/2021 and 09/07/2021

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
ADAMSDOWN								
21/01325/DCH	26/05/2021	HANKEY	HSE	25 SAPPHIRE STREET, ADAMSDOWN, CARDIFF, CF24 1PY	DEMOLITION OF EXISTING CONSERVATORY AND CONSTRUCTION OF SINGLE STOREY REAR EXTENSION	05/07/2021	Permission be granted	Householder
21/01570/MJR	28/06/2021	Cardiff Council Housing Development	NMA	FORMER CITADEL SITE, SPLOTT ROAD CHURCH, SPLOTT ROAD, SPLOTT	REMOVE CONDITION 5 AND FOR A NEW CONDITION IN LINE WITH COMMENTS REGARDING NOISE TO REPLACE IT - PREVIOUSLY APPROVED UNDER 21/00053/MJR	09/07/2021	Permission be granted	General Regulations
BUTETOWN								
A/21/00088/MNR	04/06/2021	City of Cardiff Council - Economic Development	ADV	STUART STREET, CARDIFF BAY	NON-ILLUMINATED, PVC LAMP-POST BANNER SIGNAGE	08/07/2021	Permission be granted	General Regulations
CANTON								
21/00938/MNR	16/04/2021	TAJ SOLICITORS	FUL	234 COWBRIDGE ROAD EAST, CANTON, CARDIFF, CF5 1GY	TWO STOREY REAR EXTENSION AND REAR/SIDE DORMER ROOF EXTENSIONS FORMING THREE SELF-CONTAINED FLATS	09/07/2021	Planning Permission be refused	Minor - Dwellings (C3)
PRAP/21/00023/MNR	17/05/2021	CK Hutchison Networks (UK) Ltd	PAT	LAND AT LECKWITH ROAD, LECKWITH	PROPOSED 20.0M PHASE 8 MONOPOLE C/W WRAPROUND CABINET AT BASE AND ASSOCIATED ANCILLARY WORKS	09/07/2021	No Prior Approval required	Other Consent Types

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
21/01024/DCH	08/06/2021	Wootton	CLD	1 WINDWAY ROAD, CANTON, CARDIFF, CF5 1AF	GROUND FLOOR REAR EXTENSION AND REAR DORMER	09/07/2021	Permission be granted	Other Consent Types
CATHAYS								
21/01297/MNR	01/06/2021	Housing Development	FUL	4 COLUM ROAD, CATHAYS PARK, CARDIFF, CF10 3EG	CHANGE OF USE FROM FLATS TO SUPPORTED ACCOMMODATION (C2) FOR YOUNG PEOPLE BETWEEN 16 AND 18 AND ASSOCIATED ALTERATIONS	09/07/2021	Permission be granted	General Regulations
21/00849/MJR	06/04/2021	Ropemaker Properties Limited	DOC	LANDORE COURT, CHARLES STREET, CITY CENTRE	RE-DISCHARGE OF CONDITION 20 (LANDSCAPING) OF PLANNING PERMISSION 19/02464/MJR	09/07/2021	Full Discharge of Condition	Discharge of Conditions
21/00781/MNR	29/03/2021	Corporate Support Ltd	FUL	18 CHURCHILL WAY, CITY CENTRE, CARDIFF, CF10 2DY	CHANGE OF USE FROM CLASS B1 (BUSINESS) TO CLASS A3 (BAR)	09/07/2021	Permission be granted	Minor - Retail (A1-A3)
21/01034/MNR	22/04/2021	PENRISE PROPERTIES	FUL	10 BRITHDIR STREET, CATHAYS, CARDIFF, CF24 4LG	CONVERSION OF EXISTING 7 BED HMO INTO TO 3NO. FLATS WITH GROUND FLOOR REAR EXTENSION AND REAR DORMER ROOF EXTENSION	08/07/2021	Permission be granted	Minor - Dwellings (C3)
A/21/00066/MNR	10/05/2021	City of Cardiff Council - Economic Development	ADV	VICTORIA PLACE, THE HAYES, CITY CENTRE	NON-ILLUMINATED, PVC LAMP-POST BANNER SIGNAGE	08/07/2021	Split decision (part app./part ref.)	General Regulations
21/01396/MNR		Laura May Bridal	LBC	22-24 MORGAN ARCADE, CITY CENTRE, CARDIFF, CF10 1AF	FIT OUT OF NEW RETAIL STORE WITHIN UNIT 22-24 MORGANS ARCADE	06/07/2021	Withdrawn by Applicant	Listed Buildings

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
21/01174/DCH	10/05/2021	Winter	HSE	92 COBURN STREET, CATHAYS, CARDIFF, CF24 4BT	DEMOLITION OF EXISTING REAR EXTENSION AND CONSTRUCTION OF NEW SINGLE STOREY REAR EXTENSION AND REAR DORMER	05/07/2021	Permission be granted	Householder

CREIGAU/ST FAGANS

21/00945/MNR	15/04/2021	Redrow Homes (South Wales); Trustees of St Fagans No1 and 2 Trust and Trustees o	LBC	PENTREBANE FARM, CROFFT-Y-GENAU ROAD, ST FAGANS, CARDIFF, CF5 6DR	REPAIR/REPLACE SLATE ROOF COVERINGS AND ADJACENT LEADWORK, STRUCTURAL REPAIR TO TIMBER IN PORCHES AND LEAN-TOO STRUCTURES, ESSENTIAL MASONRY REPAIR AND RAINWATER GOODS AT PENTREBANE FARM BARN	07/07/2021	Permission be granted	Listed Buildings
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CYNCOED

21/00692/DCH	31/03/2021	Khalid	HSE	8 EVERARD WAY, LAKESIDE, CARDIFF, CF23 6DP	CONSTRUCTION OF GROUND FLOOR EXTENSION (IN-FILL BENEATH EXISTING FIRST FLOOR SIDE ADDITION) AND REAR DORMER ROOF EXTENSION	08/07/2021	Permission be granted	Householder
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<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
21/01336/DCH	01/06/2021	CASE	HSE	30 CEFN COED ROAD, CYNCOED, CARDIFF, CF23 6AR	SINGLE AND DOUBLE STOREY REAR AND SIDE EXTENSIONS AND DORMER ROOF EXTENSION WITH ASSOCIATED DEMOLITIONS AND ALTERATIONS	05/07/2021	Permission be granted	Householder
20/02613/DCH	21/12/2020	AL-RIKABI	HSE	28 WOODVALE AVENUE, CYNCOED, CARDIFF, CF23 6SQ	SINGLE STOREY FRONT AND FIRST FLOOR SIDE EXTENSIONS LOFT CONVERSION WITH REAR DORMERS ERECTION OF GARDEN STORE AND EXTERNAL ALTERATIONS	09/07/2021	Permission be granted	Householder
21/01476/DCH	14/06/2021	Singh Garib	NMH	43 OGWEN DRIVE, LAKESIDE, CARDIFF, CF23 6LJ	ALTERATIONS TO WINDOWS IN THE GROUND AND FIRST FLOOR ELEVATIONS FOR MORE LIGHT/ENERGY SAVING ALSO TO AVOID BLANK WALLS AND THE GROUND FLOOR ROOF TO BE A LOWER PITCH AND INCORPORATE 2 SKY LIGHTS - PREVIOUSLY APPROVED UNDER 21/00790/DCH	09/07/2021	Permission be granted	Non Material Householder

ELY

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
21/01283/MNR	20/05/2021	Cardiff County Council	DOC	ST FRANCIS PRIMARY SCHOOL, WILSON ROAD, ELY, CARDIFF, CF5 4JL	DISCHARGE OF CONDITIONS 7 (SITE WON MATERIALS), 8 (DETAILS OF THE RAIN GARDEN GROWING MEDIUM AND PLANNED MAINTENANCE) AND 9 (DETAILS OF PROPOSED COLOURS) OF 20/00726/MNR	05/07/2021	Full Discharge of Condition	Discharge of Conditions

FAIRWATER

21/01267/MJR	19/05/2021	Redrow Homes (South Wales), Trustees of St Fagans No 1 and 2 Trust and Trustees	DOC	NORTH WEST CARDIFF	RE-DISCHARGE OF CONDITION 35 (LANDSCAPE SCHEME FOR DETAILED HIGHWAY IMPROVEMENT WORKS) OF 14/02733/MJR IN RELATION TO JUNCTIONS 2, 3, 4, 5 AND 6, PREVIOUSLY DISCHARGED UNDER APPLICATION 19/02422/MJR	06/07/2021	Full Discharge of Condition	Discharge of Conditions
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GRANGETOWN

21/01427/MNR	07/06/2021	Firestorm Games Limited	FUL	UNIT A, SLOPER ROAD, LECKWITH, CARDIFF, CF11 8AB	CHANGE OF USE FROM SUI GENERIS (MOTORCYCLE DEALERSHIP) TO SUI GENERIS (SPECIALIST TABLETOP GAMING)	09/07/2021	Permission be granted	Minor - Other Principal Uses
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LISVANE

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
21/00905/MJR	14/04/2021	Redrow Homes Limited	NMA	PHASE 1B(II) & PHASE 1C(I), CHURCHLANDS LAND NORTH AND EAST OF LISVANE, MAERDY LANE, LISVANE	AMENDMENTS TO SITE LAYOUT FOR PLOTS 134-148 INCLUDING REMOVAL OF PLOTS 133 AND 134, RE-NUMBERING TO 133-146 AND HOUSE TYPE CHANGES - PREVIOUSLY APPROVED UNDER 19/02053/MJR	09/07/2021	Permission be granted	Non Material Amendment
20/01154/MNR	22/06/2020	Reynolds	FUL	CWM Y TRANCH, GRAIG ROAD, LISVANE, CARDIFF, CF14 0UF	CONSTRUCTION OF NEW DWELLING WITH ASSOCIATED LANDSCAPING AND SITE INFRASTRUCTURE	09/07/2021	Permission be granted	Minor - Dwellings (C3)
LLANDAFF								
21/01065/DCH	29/04/2021	TAME	HSE	91 BISHOPS WALK, LLANDAFF, CARDIFF, CF5 2HB	SINGLE STOREY REAR EXTENSION	05/07/2021	Permission be granted	Householder
21/01127/DCH	05/05/2021	MATTHEWS	HSE	42 HEOL SEDDON, DANESCOURT, CARDIFF, CF5 2QX	TWO STOREY EXTENSION TO SIDE	05/07/2021	Permission be granted	Householder
21/01149/DCH	10/05/2021	Morgan	HSE	19 BRIDGE STREET, LLANDAFF, CARDIFF, CF5 2EJ	SINGLE STOREY EXTENSION TO SIDE RETURN	05/07/2021	Permission be granted	Householder
21/01407/DCH	03/06/2021	FULTHORPE	CLD	32 INSOLE GROVE EAST, LLANDAFF, CARDIFF, CF5 2HP	PROPOSED REAR SINGLE STOREY EXTENSION	09/07/2021	Permission be granted	Other Consent Types
21/01029/DCH	01/06/2021	Inkin	HSE	41 ELY ROAD, LLANDAFF, CARDIFF, CF5 2JF	CONSTRUCTION OF A SINGLE STOREY CONTEMPORARY GLAZED ORANGERY EXTENSION TO THE REAR	09/07/2021	Permission be granted	Householder

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21/01070/DCH	30/04/2021	Playle	HSE	19 RIVERSDALE, LLANDAFF, CARDIFF, CF5 2QL	PART SINGLE AND PART DOUBLE SIDE AND REAR EXTENSION AND CONSTRUCTION OF FRONT PORCH	09/07/2021	Permission be granted	Householder

LLANISHEN

21/01182/DCH	12/05/2021	ROBST	HSE	57 SPRING GROVE, LLANISHEN, CARDIFF, CF14 9DL	SINGLE STOREY FRONT PORCH AND REAR EXTENSIONS TO REPLACE EXISTING PORCH AND CONSERVATORY	05/07/2021	Permission be granted	Householder
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21/01501/DCH	16/06/2021	James	NMH	4 CLOS Y GWALCH, THORNHILL, CARDIFF, CF14 9JH	INTERNAL RECONFIGURATION AND EXTERNAL MATERIAL REVISION AT FIRST FLOOR LEVEL FROM BRICKWORK TO RENDER - PREVIOUSLY APPROVED UNDER 20/02593/DCH	05/07/2021	Permission be granted	Non Material Householder
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PENTYRCH

21/00841/DCH	06/04/2021	Crabtree	HSE	BRON Y DE, HEOL-Y-PARC, PENTYRCH, CARDIFF, CF15 9NB	CONVERSION OF GARAGE INTO HOME OFFICE, EXERCISE ROOM AND STORAGE	09/07/2021	Permission be granted	Householder
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PENYLAN

20/02004/DCH	27/10/2020	JAVED	HSE	6 CLOS EDNO, PENYLAN, CARDIFF, CF23 5NF	PARTIAL CONVERSION AND FIRST FLOOR EXTENSION TO EXISTING GARAGE WITH ATTACHED SINGLE STOREY EXTENSION AND FIRST FLOOR REAR EXTENSION	09/07/2021	Permission be granted	Householder
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21/01180/DCH	11/05/2021	SANDHU	HSE	61 COLCHESTER AVENUE, PENYLAN, CARDIFF, CF23 9AX	SINGLE STOREY REAR EXTENSION AND ALTERATIONS TO ROOF OF EXISTING EXTENSION	05/07/2021	Permission be granted	Householder
21/00896/DCH	13/04/2021	Huxley	HSE	68 SANDRINGHAM ROAD, ROATH, CARDIFF, CF23 5BL	SINGLE STOREY REAR EXTENSION	05/07/2021	Permission be granted	Householder
21/01248/DCH	17/05/2021	Kelly	HSE	66 SANDRINGHAM ROAD, ROATH, CARDIFF, CF23 5BL	GARAGE CONVERSION TO OFFICE	09/07/2021	Permission be granted	Householder
PLASNEWYDD								
21/00768/MNR	25/03/2021	Yamas	FUL	13 WELLFIELD ROAD, ROATH, CARDIFF, CF24 3NZ	CHANGE OF USE A1 TO A3 RESTAURANT	09/07/2021	Permission be granted	Minor - Retail (A1-A3)
21/01284/MNR	20/05/2021	Willis Investment Ltd	FUL	69-71 ALBANY ROAD, ROATH, CARDIFF, CF24 3LN	CHANGE OF USE FROM CLASS A1 (RETAIL) TO A MIXED CLASS A1/A3 USE (RETAIL/CAFE-RESTAU RANT)	09/07/2021	Permission be granted	Minor - Retail (A1-A3)
21/01176/DCH	10/05/2021	Winter	HSE	13 RUSSELL STREET, ROATH, CARDIFF, CF24 3BG	PARTIAL DEMOLITION AND REBUILDING OF GROUND FLOOR EXTENSION AND REAR DORMER EXTENSION	09/07/2021	Permission be granted	Householder
21/01238/DCH	14/05/2021	Rom	HSE	98 CYFARTHFA STREET, ROATH, CARDIFF, CF24 3HG	SINGLE STOREY REAR SIDE EXTENSION AND REAR DORMER ROOF EXTENSION	08/07/2021	Permission be granted	Householder

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21/01287/MNR	20/05/2021	Cardiff Sixth Form College	FUL	52 THE PARADE, ROATH, CARDIFF, CF24 3AB	CHANGE OF USE FROM OFFICE SPACE (B1) TO EDUCATIONAL SPACE (D1) FOR USE BY CARDIFF SIXTH FORM COLLEGE, CONSISTING OF STUDY SPACE, A COMMON ROOM WITH A "PICK AND GO" FOOD COUNTER, OFFICE SPACE AND OUTDOOR AMENITY SPACE	08/07/2021	Permission be granted	Minor - Other Principal Uses

PONTPRENAU/ST MELLONS

21/00937/DCH	28/04/2021	England	FUL	TY RATO, TY'R WINCH ROAD, OLD ST MELLONS, CARDIFF, CF3 5UX	SIDE EXTENSION TO CREATE GRANNY ANNEX	05/07/2021	Permission be granted	Householder
21/01160/DCH	11/05/2021	Lorna Vale	HSE	13 FOXBERRY CLOSE, PONTPRENAU, CARDIFF, CF23 8NR	REMOVAL OF EXISTING CONSERVATORY AND CONSTRUCTION OF REAR SINGLE STOREY EXTENSION	05/07/2021	Permission be granted	Householder

RADYR

21/00828/DCH	04/05/2021	Williams	HSE	64 HEOL ISAF, RADYR, CARDIFF, CF15 8DZ	REAR DORMER ROOF EXTENSION WITH JULIETTE BALCONY AND ASSOCIATED WORKS	08/07/2021	Permission be granted	Householder
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RHIWBINA

20/02569/DCH	06/01/2021	courtney	HSE	4 BRYN ADAR, PANTMAWR, CARDIFF, CF14 7HH	DOUBLE STOREY SIDE EXTENSION AND SINGLE STOREY REAR EXTENSION	09/07/2021	Permission be granted	Householder
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<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
21/01106/DCH	06/05/2021	Morgan	VAR	27 WAUN-Y-GROES ROAD, RHIWBINA, CARDIFF, CF14 4SW	VARIATION OF CONDITION 2 OF 20/00818/DCH TO AMEND APPROVED PLANS	09/07/2021	Permission be granted	Renewals and Variation of Conditions
21/01347/DCH	02/06/2021	Levis	CLD	31 CLOS TON MAWR, RHIWBINA, CARDIFF, CF14 6RH	EXTEND EXISTING HIPPED ROOF TO FORM NEW GABLE END. REAR BOX DORMER, RENDERED TO MATCH EXISTING STRUCTURE. VELUX STYLE ROOF WINDOWS INSERTED INTO FRONT ROOF PLANE WITH OBSCURED GLAZED WINDOW TO SIDE NEWLY FORMED GABLE.	09/07/2021	Permission be granted	Other Consent Types
RIVERSIDE								
21/01210/DCH	14/05/2021	POWELL	HSE	27 LLANFAIR ROAD, PONTCANNA, CARDIFF, CF11 9PZ	SINGLE STOREY REAR EXTENSION	09/07/2021	Permission be granted	Householder
21/01266/MNR	19/05/2021	Dusty Knuckle Pizza Co.	FUL	WARDEN'S COTTAGE, COWBRIDGE ROAD EAST, SOPHIA GARDENS, CARDIFF	DISCHARGE OF CONDITION 11 (ARBORICULTURAL METHOD STATEMENT) OF 19/00507/MNR	09/07/2021	Full Discharge of Condition	Minor - Retail (A1-A3)
21/00991/DCH	23/04/2021	O' Connell	HSE	15 MARK STREET, RIVERSIDE, CARDIFF, CF11 6LL	DOUBLE STOREY REAR EXTENSION	09/07/2021	Permission be granted	Householder
21/00992/DCH	28/04/2021	Home UK New Ltd.	HSE	70 SOPHIA WALK, PONTCANNA, CARDIFF, CF11 9LE	TWO STOREY AND SINGLE STOREY REAR EXTENSION	09/07/2021	Permission be granted	Householder

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20/02333/MNR	15/12/2020	ANYAIKEO	FUL	25 LYNDHURST STREET, RIVERSIDE, CARDIFF, CF11 6JH	ALTERATIONS & CONVERSION TO CLASS C4 HOUSE IN MULTIPLE OCCUPATION	08/07/2021	Permission be granted	Minor - Dwellings (C3)

SPLOTT

20/02414/MNR	23/11/2020	WALKER	FUL	LAND ADJACENT TO UNIT 49, PORTMANMOOR ROAD INDUSTRIAL ESTATE, PORTMANMOOR ROAD, SPLOTT, CARDIFF, CF24 5HB	A SINGLE BLOCK OF 3NO. NEW STARTER FACTORY UNITS	07/07/2021	Deemed Withdrawn	Minor - Offices (B1(a))
PRAP/21/00027/MNR	27/05/2021	CK Hutchison Networks (UK) Ltd	PRAP	NORTH SIDE OF SEAWALL ROAD, TREMORFA, CARDIFF	PROPOSED NEW 20M HIGH STREET POLE AND ASSOCIATED CABINETS AND INFRASTRUCTURE	08/07/2021	No Prior Approval required	Other Consent Types

WHITCHURCH/TONGWYNLAIS

21/01310/DCH	02/06/2021	Harvey	CLD	25 HEOL WERNLAS, WHITCHURCH, CARDIFF, CF14 1RY	CONVERSION OF GARAGE INTO HABITABLE LIVING SPACE WITH REAR EXTENSION AND ASSOCIATED ALTERATIONS	09/07/2021	Permission be granted	Other Consent Types
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Cardiff Council : Strategic Planning And Environment : Development Control

Applications Decided between 12/07/2021 and 16/07/2021

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
ADAMSDOWN								
A/21/00081/MNR	04/06/2021	City of Cardiff Council - Economic Development	ADV	ADAM STREET, ADAMSDOWN	NON-ILLUMINATED, PVC LAMP-POST BANNER SIGNAGE	15/07/2021	Permission be granted	General Regulations
BUTETOWN								
21/00580/MJR	09/03/2021	Kestrel Construction	DOC	BAY CHAMBERS, WEST BUTE STREET, BUTETOWN, CARDIFF, CF10 5BB	DISCHARGE OF CONDITION 14 (FOUL DRAINAGE SCHEME) OF 17/00699/MJR	16/07/2021	Full Discharge of Condition	Discharge of Conditions
TEL/21/00105/T	25/06/2021	Clark Telecom Ltd	TEL	ATLANTIC WHARF, HEMINGWAY ROAD, BUTETOWN, CARDIFF, CF10 4JY	Replacement of 1no. Equipment cabinet. All other associated ancillary equipment thereto as illustrated on the enclosed drawing, including the additional of GPS Node to the existing Streetworks telecommunications pole.	16/07/2021	No Response Sent	Other Consent Types
A/21/00091/MNR	07/06/2021	City of Cardiff Council - Economic Development	ADV	LLOYD GEORGE AVENUE, ATLANTIC WHARF	NON-ILLUMINATED, PVC LAMP-POST BANNER SIGNAGE	14/07/2021	Permission be granted	General Regulations
21/01624/MJR	01/07/2021	Cardiff One Ltd	NMA	1 CALLAGHAN SQUARE, BUTETOWN, CARDIFF, CF10 5BT	REPLACEMENT OF THE EXISTING PLANT ON THE ROOF THE BUILDING - PREVIOUSLY APPROVED UNDER 99/01843/C	14/07/2021	Permission be granted	Non Material Amendment

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21/00307/MNR	09/02/2021	Cardiff & Vale College	DOC	PART OF CANAL PARK ADJACENT TO CARDIFF AND VALE COLLEGE, DUMBALLS ROAD, BUTETOWN, CARDIFF, CF10 5FE	DISCHARGE OF CONDITIONS 4 (SOFT LANDSCAPING) AND 12 (LITTER BINS) OF 20/00262/MNR	15/07/2021	Full Discharge of Condition	Discharge of Conditions

TEL/21/00113/T	08/07/2021		TEL	DOCKS CONSERVATIVE CLUB, 11 HUNTER STREET, BUTETOWN, CARDIFF, CF10 5GX	PROPOSED EE 1NO GPS NODE TO BE MOUNTED ON PROPOSED SUPPORT POLE EXISTING 3NO ANTENNAS TO BE SWAPPED OUT FOR PROPOSED 3NO 2.0M ANTENNAS TO BE MOUNTED ON PROPOSED STEELWORK FIXED TO BUILDING STRUCTURE PROPOSED EE 1NO ERS2460 700/800, 1NO ERS4480 18/21 AND 1NO TOP BOB TO BE INSTALLED BELOW ANTENNA (PER SECTOR) EXISTING GPS MODULE MOUNTED TO POLE TO BE REMOVED	12/07/2021	No Response Sent	Other Consent Types
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CAERAU

21/01084/MNR	29/04/2021	Cardiff City Council	FUL	RIVERBANK SPECIAL SCHOOL, VINCENT ROAD, CAERAU, CARDIFF, CF5 5AQ	INSTALLATION OF 1NO. SINGLE STOREY TEMPORARY PORTAKABIN BUILDING	12/07/2021	Permission be granted	General Regulations
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PRAP/21/00024/MNR	19/05/2021	Hutchison 3G UK Ltd	PAT	LAND AT HEOL TRELAI, CAERAU	INSTALLATION OF A 20 METRE HIGH MONOPOLE SUPPORTING 6 NO. ANTENNAS AND 2 NO. TRANSMISSION DISHES, 4 NO. EQUIPMENT CABINETS AND DEVELOPMENT WORKS ANCILLARY THERETO	13/07/2021	Permission Required	Other Consent Types
21/01628/MNR	08/07/2021	Linc Cymru Housing Association	CLU	40 DYFRIG ROAD, CAERAU, CARDIFF, CF5 5AD	SUPPORTED RESIDENTIAL ACCOMMODATION FOR UP TO FIVE YOUNG PERSONS	14/07/2021	Permission be granted	Other Consent Types
CANTON								
21/01512/MNR	16/06/2021	Laura Dommett	FUL	321 COWBRIDGE ROAD EAST, CANTON, CARDIFF, CF5 1JD	CHANGE OF USE TO D1 - (PODIATRY CLINIC)	14/07/2021	Permission be granted	Minor - Other Principal Uses
21/01331/DCH	28/05/2021	Simmonds	HSE	285 LANSDOWNE ROAD, CANTON, CARDIFF, CF5 1JR	SINGLE STROREY REAR EXTENSION	15/07/2021	Permission be granted	Householder
21/00373/MNR	18/02/2021	Waring	FUL	30 HANOVER STREET, CANTON, CARDIFF, CF5 1LS	CONVERSION OF 3 BEDROOM HOUSE INTO 2NO. FLATS	14/07/2021	Permission be granted	Minor - Dwellings (C3)
21/01213/DCH	13/05/2021	Proctor	HSE	30 BUTLEIGH AVENUE, CANTON, CARDIFF, CF5 1BZ	SINGLE STOREY SIDE AND REAR EXTENSION	12/07/2021	Permission be granted	Householder
21/01362/DCH	28/05/2021	Chauhan	NMH	30 BROADHAVEN, CANTON, CARDIFF, CF11 8DB	TO ENCLOSE THE SIDE/FRONT ELEVATION RECESS BENEATH BEDROOM 3 AND CREATE A CLOAKROOM - PREVIOUSLY APPROVED UNDER 20/02209/DCH	12/07/2021	Permission be granted	Householder

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TEL/21/00090/T	04/06/2021		TEL	COWBRIDGE ROAD EAST, CANTON, CARDIFF, CF5 1JG	PRE-CONSULTATION - Proposed 18.0m Phase 8 monopole c/w wraparound cabinet at base and associated ancillary works.	16/07/2021	No Response Sent	Other Consent Types
21/01653/DCH	13/07/2021	Chauhan	NMH	30 BROADHAVEN, CANTON, CARDIFF, CF11 8DB	AMENDMENT TO DORMER EXTENSION, RETAIN PART OF EXISTING GARAGE AND MINOR AMENDMENT TO TERRACE - PREVIOUSLY APPROVED UNDER 20/02209/DCH	16/07/2021	Withdrawn by Applicant	Householder

CATHAYS

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21/00043/MJR	13/01/2021	Mansford	FUL	8-10 HIGH STREET, CITY CENTRE, CARDIFF, CF10 1AW	DEVELOPMENT AT HIGH STREET ARCADE, CARDIFF, COMPRISING PART DEMOLITION OF VACANT NIGHTCLUB TO BE REPLACED WITH A COURTYARD, WITH ALTERATIONS TO AN EXISTING UNIT FRONTING ONTO HIGH STREET ARCADE AND REMOVAL OF ROOF TO THE CENTRE REAR 8-10 HIGH STREET, AND TO INCLUDE THE FOLLOWING USES: UNIT R: 8/10 HIGH ST – BASEMENT AND GROUND FLOOR, A1/A3 (FOOD LED); UNIT A: 3-7 HIGH ST ARCADE - BASEMENT, GROUND AND FIRST FLOOR, A1/A3 (FOOD LED); UNIT B: 9-13 HIGH ST ARCADE - BASEMENT, GROUND AND FIRST FLOOR (INCLUDING TERRACE), A1/A3 (FOOD LED); UNIT C: 15-17 HIGH ST ARCADE - BASEMENT, GROUND AND FIRST FLOOR (INCLUDING TERRACE), A1/A3 (FOOD LED); UNIT D: 21, HIGH ST ARCADE & 10/12 DUKE ST ARCADE - BASEMENT, GROUND AND FIRST FLOOR, A3 (FOOD LED); UNIT E: PART	13/07/2021	Permission be granted	Minor - Retail (A1-A3)

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					8-10 HIGH STREET - FIRST AND SECOND FLOOR, A1/A3 (FOOD LED) AND THIRD FLOOR, ANCILLARY STORAGE; COURTYARD – GROUND FLOOR, OUTDOOR SEATING AREA (ANCILLARY TO ADJOINING USES).			
A/21/00093/MNR	14/06/2021	Cardiff Marriott Hotel	ADV	CARDIFF MARRIOTT HOTEL, MILL LANE, CITY CENTRE, CARDIFF, CF10 1EZ	NEW SIGNAGE	12/07/2021	Permission be granted	Advertisements
A/21/00087/MNR	04/06/2021	City of Cardiff Council - Economic Development	ADV	SENGHENNYDD ROAD, CATHAYS	NON-ILLUMINATED, PVC LAMP-POST BANNER SIGNAGE	14/07/2021	Permission be granted	General Regulations
21/01341/MNR	04/06/2021	Karidis	FUL	119-121 WOODVILLE ROAD, CATHAYS, CARDIFF, CF24 4DZ	CHANGE OF USE TO A3 (RESTAURANT) TO GROUND FLOOR	15/07/2021	Permission be granted	Minor - Retail (A1-A3)
A/21/00079/MNR	04/06/2021	City of Cardiff Council - Economic Development	ADV	JUNCTION OF HAYES BRIDGE ROAD, CUSTOM HOUSE STREET, BUTE TERRACE AND BUTE STREET, CITY CENTRE	NON-ILLUMINATED, PVC LAMP-POST BANNER SIGNAGE	15/07/2021	Permission be granted	General Regulations
A/21/00080/MNR	04/06/2021	City of Cardiff Council - Economic Development	ADV	BUTE TERRACE, CITY CENTRE	NON-ILLUMINATED, PVC LAMP-POST BANNER SIGNAGE	15/07/2021	Permission be granted	General Regulations
A/21/00083/MNR	04/06/2021	City of Cardiff Council - Economic Development	ADV	BOULEVARD DE NANTES, CITY CENTRE	NON-ILLUMINATED, PVC LAMP-POST BANNER SIGNAGE	15/07/2021	Permission be granted	General Regulations
A/21/00084/MNR	04/06/2021	City of Cardiff Council - Economic Development	ADV	STUTTGARTER STRASSE, CATHAYS PARK	NON-ILLUMINATED, PVC LAMP-POST BANNER SIGNAGE	15/07/2021	Permission be granted	General Regulations

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A/21/00085/MNR	04/06/2021	City of Cardiff Council - Economic Development	ADV	DUMFRIES PLACE, CITY CENTRE	NON-ILLUMINATED, PVC LAMP-POST BANNER SIGNAGE	15/07/2021	Permission be granted	General Regulations
A/21/00089/MNR	04/06/2021	City of Cardiff Council - Economic Development	ADV	STATION TERRACE AND GUILDFORD STREET, CITY CENTRE	NON-ILLUMINATED, PVC LAMP-POST BANNER SIGNAGE	15/07/2021	Permission be granted	General Regulations
21/01055/DCH	07/06/2021	COOMBS	HSE	25 GELLIGAER STREET, CATHAYS, CARDIFF, CF24 4LD	PROPOSED HIP TO GABLE LOFT CONVERSION WITH REAR FACING DORMER	15/07/2021	Permission be granted	Householder
21/01398/DCH	09/06/2021	Mseer	HSE	81 MAINDY ROAD, CATHAYS, CARDIFF, CF24 4HL	SINGLE STOREY REAR EXTENSION, REAR DORMER ROOF EXTENSION AND GARAGE EXTENSION AND CONVERSION INTO GYM	15/07/2021	Permission be granted	Householder
CREIGAU/ST FAGANS								
21/01326/DCH	02/06/2021	WHITE	HSE	41 MARGUERITES WAY, ST FAGANS, CARDIFF, CF5 4QW	SINGLE STOREY REAR EXTENSION AND TWO STOREY SIDE EXTENSION	15/07/2021	Permission be granted	Householder
21/01088/DCH	29/04/2021	Rankin	HSE	DAN Y GRAIG, HOLDINGS LANE, CREIGIAU, CARDIFF, CF5 6JA	CONSTRUCTION OF A WORKSHOP, HAY AND LOG STORE	14/07/2021	Planning Permission be refused	Householder
21/01193/DCH	19/05/2021	Whitbread	HSE	35 MARGUERITES WAY, ST FAGANS, CARDIFF, CF5 4QW	INSTALLATION OF 3NO. AIR CONDITIONING UNITS IN SIDE ALLEYWAY	13/07/2021	Permission be granted	Householder
21/00848/MNR	08/04/2021	Creigiau Golf Club	FUL	CREIGIAU GOLF CLUB, HEOL CREIGIAU, CREIGIAU, CARDIFF, CF15 9NN	RETENTION OF LEAN-TO FACILITY OVER AN EXISTING PATIO AREA AT THE REAR OF THE CLUBHOUSE	13/07/2021	Permission be granted	Other Consent Types

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
21/01229/DCH	13/05/2021	ANDERSON	HSE	15 TREM Y COED, ST FAGANS, CARDIFF, CF5 6FA	REAR DORMER ROOF EXTENSION	12/07/2021	Planning Permission be refused	Householder
TEL/21/00103/T	25/06/2021	Dot Surveying Ltd	TEL	EXISTING GRASS VERGE, LLANTRISANT ROAD, FAIRWATER, CARDIFF	PRE-CONSULTATION - Proposed telecommunications installation: Proposed 20m 'slim line' phase 8 monopole c/w wraparound cabinet at base, 3no. additional ancillary equipment cabinets and associated ancillary works.	16/07/2021	No Response Sent	Other Consent Types
TEL/21/00104/T	25/06/2021	Dot Surveying Ltd	TEL	SITE LOCATED ON EXISTING GRASS VERGE, LLANTRISANT ROAD, RADYR, CARDIFF	PROPOSED 20M 'SLIM LINE' PHASE 8 MONOPOLE C/W WRAPAROUND CABINET AT BASE, 3NO. ADDITIONAL ANCILLARY EQUIPMENT CABINETS AND ASSOCIATED ANCILLARY WORKS	16/07/2021	No Response Sent	Other Consent Types
CYNCOED								
21/01004/DCH	22/04/2021	Williams	HSE	57 HAMPTON CRESCENT EAST, CYNCOED, CARDIFF, CF23 6RG	GABLE END ROOF EXTENSION AND REAR DORMER ROOF EXTENSION	13/07/2021	Permission be granted	Householder
21/01346/DCH	26/05/2021	DAVIES	HSE	83 OGWEN DRIVE, LAKESIDE, CARDIFF, CF23 6LJ	REMOVAL OF EXISTING GARAGE AND CONSTRUCTION OF SINGLE STOREY SIDE EXTENSION WITH PORCH EXTENSION	14/07/2021	Permission be granted	Householder

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21/01240/DCH	19/05/2021	ALLAN	HSE	96 RHYD Y PENAU ROAD, CYNCOED, CARDIFF, CF23 6PW	CONSTRUCTION OF SINGLE STOREY REAR AND SIDE EXTENSIONS, DORMER ROOF EXTENSIONS AND ENTRANCE PORCH	15/07/2021	Permission be granted	Householder
ELY								
21/01385/DCH	01/06/2021	Britton	HSE	70 GREEN FARM ROAD, ELY, CARDIFF, CF5 4RH	SINGLE AND DOUBLE STOREY SIDE EXTENSION	13/07/2021	Permission be granted	Householder
FAIRWATER								
21/00860/MJR	08/04/2021	Redrow Homes (South Wales)	DOC	PART 2 OF PHASE 2A, LAND NORTH AND SOUTH OF LLANTRISANT ROAD, NORTH WEST CARDIFF	DISCHARGE OF CONDITION 17 (TREES) OF 14/02157/MJR IN RESPECT OF THE AREA COVERED BY RESERVED MATTERS APPLICATION 19/03248/MJR - PARCEL PART 2 OF PHASE 2A	12/07/2021	Full Discharge of Condition	Discharge of Conditions
GABALFA								
PRAP/21/00026/MJR	17/05/2021	CK Hutchison Networks (UK) Ltd	PRAP	JUNCTION OF NORTH ROAD AND MYNACHDY ROAD, MYNACHDY, CARDIFF	PROPOSED NEW 18M HIGH STREET POLE AND ASSOCIATED CABINETS AND INFRASTRUCTURE	14/07/2021	Permission Required	Other Consent Types
A/21/00040/MNR	28/04/2021	Pure Gym	ADV	UNIT A2, EXCELSIOR ROAD, GABALFA, CARDIFF, CF14 3AT	NEW SIGNS INCLUDING TOTEM SIGN	15/07/2021	Permission be granted	Advertisements
HEATH								

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
21/00603/DCH	16/03/2021	Brazier	HSE	1 KYLE CRESCENT, WHITCHURCH, CARDIFF, CF14 1ST	SINGLE STOREY REAR AND SIDE EXTENSION, FRONT PORCH, HIP TO GABLE LOFT EXTENSION WITH REAR DORMER	14/07/2021	Permission be granted	Householder
LISVANE								
21/01228/DCH	17/05/2021	Nessbert	DOC	TYN-Y-BAILEY, GRAIG-LLWYN ROAD, LISVANE, CARDIFF, CF14 0RP	DISCHARGE OF CONDITIONS 9 AND 10 (BAT SURVEY) OF 18/01477/DCH	14/07/2021	Partial Discharge of Condition (s)	Discharge of Conditions
LLANDAFF								
21/01081/DCH	05/05/2021	Wilson	HSE	5 PIPER CLOSE, DANESCOURT, CARDIFF, CF5 2RB	SINGLE STOREY FRONT EXTENSION AND TWO STOREY SIDE EXTENSION	12/07/2021	Permission be granted	Householder
LLANDAFF NORTH								
TEL/21/00107/T	28/06/2021	WHP Telecoms Ltd	TEL	CATHEDRAL VIEW, LLANDAFF, CARDIFF, CF14 2PP	PRE-CONSULTATION - PROPOSED 18.0M PHASE 8 MONOPOLE C/W WRAPAROUND CABINET AT BASE AND ASSOCIATED ANCILLARY WORKS	16/07/2021	Response Sent	Other Consent Types
LLANISHEN								
TEL/21/00108/T	28/06/2021	Maxema Ltd	TEL	THORNHILL RESERVOIR, THORNHILL ROAD, CARDIFF, CF14 9UA	PROPOSED BASE STATION UPGRADE	16/07/2021	No Response Sent	Other Consent Types
TEL/21/00109/T	28/06/2021	Maxema Ltd	TEL	THORNHILL RESERVOIR, THORNHILL ROAD, CARDIFF, CF14 9UA	The installation of 3no. RRU's on the existing tower, along with ancillary works	16/07/2021	No Response Sent	Other Consent Types
21/00765/DCH	26/03/2021	O'NEILL	HSE	164 FIDLAS ROAD, LLANISHEN, CARDIFF, CF14 5LZ	SINGLE AND TWO STOREY SIDE EXTENSION	12/07/2021	Permission be granted	Householder

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A/21/00095/MNR	14/06/2021	NatWest Group Plc	ADV	50-52 STATION ROAD, LLANISHEN, CARDIFF, CF14 5LU	INSTALLATION OF 1NO. INTERNAL WINDOW DIGITAL SCREEN	13/07/2021	Permission be granted	Advertisements
TEL/21/00112/T	06/07/2021	Sinclair Dalby Ltd	TEL	CAERPHILLY ROAD, RHIWBINA, CARDIFF, CF14 4SN	PRE CONSULTATION - PROPOSED WORKS INCLUDE THE INSTALLATION OF A 20 METRE-HIGH MONOPOLE SUPPORTING 6NO. ANTENNAS, 4NO. EQUIPMENT CABINETS AND DEVELOPMENT WORKS ANCILLARY THERETO	16/07/2021	Response Sent	Other Consent Types
LLANRUMNEY								
TEL/21/00106/T	08/07/2021	C K Hutchison Networks (UK) Ltd	TEL	JUNCTION WODECOMBE DRIVE AND NEWPORT ROAD, ADAMSDOWN CF3 4FD	PROPOSED WORKS INCLUDE THE INSTALLATION OF A 20 METRE-HIGH MONOPOLE SUPPORTING 6 NO ANTENNAS 4NO EQUIPMENT CABINETS AND DEVELOPMENT WORKS ANCILLARY THERETO	16/07/2021	Response Sent	Other Consent Types
20/02570/DCH	10/12/2020	Lee	HSE	87 RIDGEWAY ROAD, LLANRUMNEY, CARDIFF, CF3 4AF	CONSTRUCTION OF PART SINGLE AND PART DOUBLE STOREY SIDE AND REAR EXTENSION	13/07/2021	Permission be granted	Householder
PENTWYN								

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PRAP/21/00025/MNR	05/2021	Hutchison 3G UK Ltd	PAT	LAND AT LLANEDEYRN DRIVE, LLANEDEYRN	THE INSTALLATION OF A 20 METRE HIGH MONOPOLE SUPPORTING 6 NO. ANTENNAS AND 2 NO. TRANSMISSION DISHES, 4 NO. EQUIPMENT CABINETS AND DEVELOPMENT WORKS ANCILLARY THERETO	15/07/2021	No Prior Approval required	Other Consent Types

PENYLAN

21/01111/MNR	01/06/2021	Symbro Group Limited	FUL	UNIT 4, 507 NEWPORT ROAD, PENYLAN, CARDIFF, CF23 9AD	PROPOSED 5 X A/C CONDENSER UNITS & 2 X EXTRACTOR FANS ADDITIONS	15/07/2021	Permission be granted	Other Consent Types
A/21/00096/MNR	17/06/2021	City of Cardiff Council - Economic Development	ADV	NEWPORT ROAD, PENYLAN. CARDIFF	NON-ILLUMINATED, PVC LAMP-POST BANNER SIGNAGE	14/07/2021	Permission be granted	Advertisements
21/01227/DCH	19/05/2021	Russon	HSE	40 KIMBERLEY ROAD, PENYLAN, CARDIFF, CF23 5DJ	RETENTION OF GARDEN DECKING	14/07/2021	Permission be granted	Householder

PLASNEWYDD

20/02235/MNR	29/10/2020	Cardiff Council	FUL	ROATH PARK HOUSE, NINIAN ROAD, ROATH, CARDIFF, CF23 5ER	CHANGE OF USE TO CAFE (A3) AND COOKERY SCHOOL (D2) WITH ASSOCIATED WORKS	15/07/2021	Permission be granted	Minor - Other Principal Uses
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<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
21/00380/MNR	31/03/2021	RAFFIQUE	FUL	29 MACKINTOSH PLACE, ROATH, CARDIFF, CF24 4RJ	PROPOSED CONVERSION OF A1 SHOP TO A2 OFFICE AND EXTENSIONS AND ALTERATIONS TO CONVERT HOUSE IN MULTIPLE OCCUPATION TO 3 FLATS + CONVERSION OF MOTOR REPAIR GARAGE AT REAR TO SEPARATE COACH HOUSE.	15/07/2021	Permission be granted	Minor - Dwellings (C3)

PONTPRENAU/ST MELLONS

A/21/00092/MNR	07/06/2021	Walker	ADV	WREN KITCHENS, CARDIFF GATE RETAIL PARK, DERING ROAD, PONTPRENAU, CARDIFF, CF23 8NL	NEW SIGNAGE	13/07/2021	Permission be granted	Advertisements
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RADYR

TEL/21/00111/T	06/07/2021	Openreach	TEL	F/O 17 WINDSOR ROAD, RADYR, CARDIFF, CF15 8BQ	PROPOSED POLE INSTALLATION	16/07/2021	No Response Sent	Other Consent Types
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RHIWBINA

21/01528/DCH	18/06/2021	Evans	CLD	49 TY'N-Y-PARC ROAD, RHIWBINA, CARDIFF, CF14 6BJ	REAR SINGLE STOREY EXTENSION AND FRONT PORCH EXTENSION	15/07/2021	Withdrawn by Applicant	Other Consent Types
21/00954/MNR	16/04/2021	Cardiff Council	FUL	RHIWBINA LIBRARY, PEN-Y-DRE, RHIWBINA, CARDIFF, CF14 6EH	REFURBISHMENT WORK TO EXISTING BUILDING WITH ASSOCIATED LANDSCAPE AND EXTERNAL WORKS	14/07/2021	Permission be granted	General Regulations

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21/01414/DCH	03/06/2021	davidson	HSE	43 HEOL-Y-BONT, RHIWBINA, CARDIFF, CF14 6AL	SINGLE STOREY REAR EXTENSION AND HIP TO GABLE ROOF EXTENSION WITH REAR DORMER	15/07/2021	Permission be granted	Householder
RIVERSIDE								
21/01105/DCH	19/05/2021	Woloshak	HSE	11 SNEYD STREET, PONTCANNA, CARDIFF, CF11 9DL	REPLACEMENT WINDOWS TO FRONT ELEVATION	13/07/2021	Permission be granted	Householder
21/01638/DCH	30/06/2021	Evans	NMH	36 MORTIMER ROAD, PONTCANNA, CARDIFF, CF11 9LA	FLAT ROOF TO REPLACE PITCHED ROOF ON RIGHT HAND SIDE OF EXTENSION WHEN LOOKING AT REAR ELEVATION. PITCHED ROOF TO REMAIN ON LEFT HAND SIDE - PREVIOUSLY APPROVED UNDER 20/02124/DCH	13/07/2021	Permission be granted	Non Material Householder
21/01327/DCH	26/05/2021	Roberts	HSE	73 FAIRLEIGH ROAD, PONTCANNA, CARDIFF, CF11 9JW	NEW GARDEN OFFICE, SMALL FIRST FLOOR EXTENSION TO THE REAR AND REAR DORMER LOFT EXTENSION	12/07/2021	Permission be granted	Householder
21/01380/MJR	01/06/2021	Portabella	DOC	REAR OF 35 ROMILLY CRESCENT AND 70-72 LLANDAFF ROAD, PONTCANNA, CARDIFF	DISCHARGE OF CONDITION 7 (CYCLE PARKING) OF 19/02071/MJR	12/07/2021	Full Discharge of Condition	Discharge of Conditions
21/00839/DCH	09/04/2021	Meredith	HSE	54 HAMILTON STREET, PONTCANNA, CARDIFF, CF11 9BQ	SINGLE STOREY SIDE/REAR EXTENSION.	15/07/2021	Permission be granted	Householder

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21/01026/DCH	26/04/2021	Francis	HSE	43 HAMILTON STREET, PONTCANNA, CARDIFF, CF11 9BP	SINGLE STOREY REAR EXTENSION TO SIDE RETURN OF EXISTING REAR ANNEX. REMOVAL OF EXISTING LEAN-TO, GROUND FLOOR WC/UTILITY. RECONFIGURATION OF EXISTING WINDOWS TO FIRST FLOOR REAR ANNEX. REPLACEMENT OF EXISTING SINGLE GLAZED, TIMBER TOP HUNG CASEMENT WINDOW TO SECOND FLOOR, FRONT ELEVATION WITH DOUBLE GLAZED, TIMBER SLIDING SASH WINDOW. REBUILD EXISTING DEFECTIVE REAR BOUNDARY WALL.	15/07/2021	Permission be granted	Householder

RUMNEY

21/00899/DCH	13/04/2021	Mr Morris	HSE	215 GREENWAY ROAD, RUMNEY, CARDIFF, CF3 3PJ	REMOVAL OF EXISTING DORMER TO REAR AND CONSTRUCTION OF NEW DORMER/FLAT ROOF REAR EXTENSION	13/07/2021	Planning Permission be refused	Householder
21/01255/DCH	18/05/2021	CHRISTIAN	HSE	45 NEW ROAD, RUMNEY, CARDIFF, CF3 3DB	SINGLE STOREY REAR AND SIDE EXTENSIONS	14/07/2021	Permission be granted	Householder

SPLOTT

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
21/01148/DCH	10/05/2021	Power	HSE	5 ORDELL STREET, SPLOTT, CARDIFF, CF24 2BA	SINGLE STOREY REAR EXTENSION	13/07/2021	Permission be granted	Householder
21/01241/MJR	14/05/2021	Viridor Energy Ltd	NMA	ADJACENT TO COMPRESSOR HOUSE, ROATH DOCK ROAD, CARDIFF	INCLUDE THE PROVISION OF A HEAT EXCHANGE BUILDING - PREVIOUSLY APPROVED UNDER 20/01453/MJR	16/07/2021	Permission be granted	Non Material Amendment

TROWBRIDGE

21/01378/DCH	03/06/2021	Jenkins	NMH	11 WILLOW HERB CLOSE, ST MELLONS, CARDIFF, CF3 0RA	TO OMIT STRUCTURAL STEEL BEAMS AND SUPPORTING COLUMNS AND INFILL BETWEEN THE BRICK PIERS TO INCREASE THE WIDTH THE OF THE LOUNGE - PREVIOUSLY APPROVED UNDER 20/02530/DCH	15/07/2021	Permission be granted	Non Material Householder
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WHITCHURCH/TONGWYNLAIS

21/00988/DCH	26/04/2021	Sandall	HSE	2 THE PARADE, WHITCHURCH, CARDIFF, CF14 2EE	SINGLE STOREY REAR EXTENSION, DEMOLITION OF EXISTING GARAGE AND CONSTRUCTION OF DETACHED GYM/STORAGE AREA IN REAR GARDEN	15/07/2021	Permission be granted	Householder
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20/00626/MNR	10/03/2020	Ahmed	FUL	11 PENLLINE ROAD, WHITCHURCH, CARDIFF, CF14 2AA	DEMOLITION OF OUTBUILDING AND PART EXISTING REAR STRUCTURES AND THE CONSTRUCTION OF A REAR SINGLE STOREY EXTENSION AND PART TWO STOREY REAR EXTENSION WITH CONVERSION OF EXISTING UPPER OFFICE AND STORAGE SPACE INTO 4NO. SELF CONTAINED FLATS	14/07/2021	Permission be granted	Minor - Dwellings (C3)
21/01041/MNR	28/04/2021	Domino's Pizza UK & Ireland	FUL	53 MERTHYR ROAD, WHITCHURCH, CARDIFF, CF14 1XG	PROPOSED CHANGE OF USE FROM CLASS A1 TO CLASS A3 (FOOD AND DRINK) AND EXTERNAL ALTERATIONS INCLUDING NEW SHOPFRONT AND EXTRACTION SYSTEM	14/07/2021	Withdrawn by Applicant	Minor - Retail (A1-A3)

Cardiff Council : Strategic Planning And Environment : Development Control

Applications Decided between 19/07/2021 and 23/07/2021

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BUTETOWN								
21/01417/MNR	03/06/2021	Learning Industries	FUL	2 OCEAN HOUSE, CLARENCE ROAD, BUTETOWN, CARDIFF, CF10 5FR	CHANGE OF USE FROM OFFICE SPACE TO PHYSIOTHERAPY	19/07/2021	Permission be granted	Minor - Other Principal Uses
CANTON								
21/01367/DCH	28/05/2021	FEENEY / SETTER	HSE	16 EARLE PLACE, CANTON, CARDIFF, CF5 1NZ	SINGLE STOREY REAR EXTENSION	19/07/2021	Permission be granted	Householder
21/00878/MNR	25/05/2021	ANDERSON	FUL	374 COWBRIDGE ROAD EAST, CANTON, CARDIFF, CF5 1JJ	CHANGE OF GROUND FLOOR SIDE ELEVATION WINDOW TO A DOOR	19/07/2021	Permission be granted	Other Consent Types
PRAP/21/0002808	08/06/2021	CK Hutchison Networks (UK) Ltd	PAT	LAND OPPOSITE EGERTON STREET AT COWBRIDGE ROAD EAST, CANTON. CARDIFF	INSTALLATION OF 18.0M PHASE 8 MONOPOLE C/W WRAPROUND CABINET AT BASE AND ASSOCIATED ANCILLARY WORKS	23/07/2021	No Prior Approval required	Other Consent Types
CATHAYS								
21/01073/DCH	29/04/2021	HARRIS	HSE	49 ROBERT STREET, CATHAYS, CARDIFF, CF24 4PD	GROUND FLOOR REAR EXTENSIONS	23/07/2021	Permission be granted	Householder
21/01265/MJR	18/05/2021	Mansford	CAC	8-10 HIGH STREET, CITY CENTRE, CARDIFF, CF10 1AW	DEMOLITION OF A VACANT NIGHTCLUB TO BE REPLACED WITH A COURTYARD	23/07/2021	Permission be granted	Conservation Area Consent
A/21/00075/MNR	25/05/2021	The Body Shop International Ltd	ADV	6 TOWN WALL SOUTH, CITY CENTRE, CARDIFF, CF10 2EW	NEW FASCIA SIGNAGE	19/07/2021	Permission be granted	Advertisements

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21/01129/MNR	28/05/2021	British telecommunication PLC	FUL	FOOTPATH OPPOSITE 14-16 PARK PLACE, CATHAYS PARK	REMOVAL OF EXISTING BT PHONE BOX AND INSTALLATION OF REPLACEMENT BT STREET HUB UNIT	19/07/2021	Permission be granted	Other Consent Types
A/21/00047/MNR	28/05/2021	British telecommunication PLC	ADV	FOOTPATH OPPOSITE 14-16 PARK PLACE, CATHAYS PARK	TWO DIGITAL LCD DISPLAY SCREEN, ONE ON EACH SIDE OF THE BT STREET HUB UNIT	19/07/2021	Permission be granted	Advertisements
21/00044/MJR	13/01/2021	Mansford	LBC	8-10 HIGH STREET, CITY CENTRE, CARDIFF, CF10 1AW	PART DEMOLITION OF VACANT NIGHTCLUB TO BE REPLACED WITH A COURTYARD, WITH ALTERATIONS TO AN EXISTING UNIT FRONTING ONTO HIGH STREET ARCADE. SOME ALTERATIONS TO THE INTERNAL LAYOUT AND PARTITIONS AND REMOVAL OF ROOF TO THE CENTRE REAR	21/07/2021	Permission be granted	Listed Buildings

CREIGAU/ST FAGANS

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19/03248/MJR	16/12/2019	Redrow Homes	RES	PART 2 OF PHASE 2A, LAND NORTH AND SOUTH OF LLANTRISANT ROAD, NORTH WEST CARDIFF	APPROVAL OF RESERVED MATTERS (APPEARANCE, SCALE, LAYOUT, LANDSCAPING AND NON-STRATEGIC ACCESS) FOR THE DEVELOPMENT OF 86 DWELLINGS FORMING PART 2 OF PHASE 2A PURSUANT TO OUTLINE PERMISSION 14/02157/MJR AT LAND SOUTH OF LLANTRISANT ROAD, NORTH WEST CARDIFF	22/07/2021	Permission be granted	Major - Dwellings (C3)
21/01704/DCH	08/07/2021	O'Donnell	NMA	ROSE COTTAGE, CROFFT-Y-GENAU ROAD, ST FAGANS, CARDIFF, CF5 6DU	INCREASE IN THE SIZES OF THE PROPOSED SUMMER HOUSE AND STORE SHED - PREVIOUSLY APPROVED UNDER 21/00202/DCH	19/07/2021	Permission be granted	Householder
21/01314/MNR	27/05/2021	Taylor	FUL	CREIGIAU RECREATION GROUND, HEOL PANT-Y-GORED, CREIGIAU, CARDIFF, CF15 9NF	RENOVATION AND EXTENSION OF AN EXISTING OUTDOOR TWO-LANE CRICKET NET FACILITY AND THE INSTALLATION OF A NEW THIRD-LANE CRICKET NET TRAINING FACILITY	23/07/2021	Permission be granted	Minor - Other Principal Uses
CYNCOED								
21/01235/DCH	19/05/2021	Md Delwar Hussain	HSE	45 GWERN RHUDDI ROAD, CYNCOED, CARDIFF, CF23 6PS	SINGLE STOREY REAR EXTENSION	19/07/2021	Permission be granted	Householder
ELY								

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21/00211/MNR	29/01/2021	SINGH	FUL	355 GRAND AVENUE, ELY, CARDIFF, CF5 4RD	LOWER GROUND FLOOR, GROUND FLOOR AND FIRST FLOOR REAR EXTENSIONS, FIRST FLOOR SIDE EXTENSION AND ROOF EXTENSION WITH REAR DORMER INCLUDING EXTERNAL ALTERATIONS TO CREATE FOUR FLATS.	19/07/2021	Planning Permission be refused	Minor - Dwellings (C3)
21/01456/DCH	11/06/2021	Johansen	CLD	15 NOTTAGE ROAD, ELY, CARDIFF, CF5 5DF	REAR DORMER ROOF EXTENSION AND 2 FRONT-FACING ROOFLIGHTS	19/07/2021	Permission be granted	Other Consent Types

GABALFA

21/01442/MNR	14/06/2021	MUSTAFA	FUL	THE COACH HOUSE REAR OF 278, NORTH ROAD, GABALFA, CARDIFF, CF14 3BN	CONVERSION OF COACH HOUSE INTO A DWELLING WITH EXTERNAL ALTERATIONS	21/07/2021	Permission be granted	Minor - Dwellings (C3)
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GRANGETOWN

A/21/00054/MNR	28/05/2021	British telecommunication PLC	ADV	FOOTPATH OUTSIDE 185 CLARE ROAD, GRANGETOWN	TWO DIGITAL LCD DISPLAY SCREEN, ONE ON EACH SIDE OF THE BT STREET HUB UNIT	19/07/2021	Permission be granted	Advertisements
21/01136/MNR	28/05/2021	British telecommunication PLC	FUL	FOOTPATH OUTSIDE 185 CLARE ROAD, GRANGETOWN	REMOVAL OF EXISTING BT PHONE BOX AND INSTALLATION OF REPLACEMENT BT STREET HUB UNIT	19/07/2021	Permission be granted	Other Consent Types

HEATH

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
21/01458/DCH	11/06/2021	Davies	CLD	35 ST AGNES ROAD, HEATH, CARDIFF, CF14 4AN	CERTIFICATE OF LAWFULNESS APPLICATION FOR THE PROPOSED USE FOR A SINGLE STOREY FLAT ROOF KITCHEN TO REAR (LESS THAN 4M)	19/07/2021	Permission be granted	Other Consent Types

21/01444/DCH	10/06/2021	MARTIN	NMH	6 NANT Y FEDW, BIRCHGROVE, CARDIFF, CF14 1SD	PROPOSED CHANGE OF THE EXTENSION'S GLAZING ARRANGEMENT TO THE REAR ELEVATION, NOW TO INCLUDE FOLDING/SLIDING DOORS IN LIEU OF FRENCH DOORS/SINGLE WINDOW - PREVIOUSLY APPROVED UNDER 20/00894/DCH	23/07/2021	Permission be granted	Non Material Householder
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LISVANE

19/02885/MJR	05/11/2019	Redrow Homes	RES	PHASE 1, CHURCHLANDS LAND NORTH AND EAST OF LISVANE, MAERDY LANE, LISVANE	RESERVED MATTERS APPLICATION IN RELATION TO NANT PARK NORTH, WOODLAND LINK & NANT PARK SOUTH (PUBLIC OPEN SPACE) PURSUANT TO 14/02891/MJR PHASE 1 PUBLIC OPEN SPACE	23/07/2021	Permission be granted	Other Consent Types
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21/01344/DCH	27/05/2021	CORNISH	HSE	4 TANGLEWOOD CLOSE, LISVANE, CARDIFF, CF14 0ET	REAR SINGLE STOREY EXTENSION	19/07/2021	Permission be granted	Householder
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LLANISHEN

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
21/00805/DCH	07/04/2021	Bloor	HSE	10 TOWY ROAD, LLANISHEN, CARDIFF, CF14 0NS	HIP TO GABLE ROOF EXTENSION WITH REAR DORMER	19/07/2021	Permission be granted	Householder
21/01415/DCH	03/06/2021	jones	CLD	144 TY GLAS ROAD, LLANISHEN, CARDIFF, CF14 5EH	SINGLE STOREY REAR EXTENSION	19/07/2021	Permission be granted	Other Consent Types
PENTWYN								
TEL/21/00110/T	29/06/2021	Openreach	TEL	MAELFA, CARDIFF, CF23 9PL	WAYLEAVE AGREEMENT	22/07/2021	Response Sent	Other Consent Types
PENYLAN								
20/02665/MNR	12/01/2021	AHMED	DOC	22 BALACLAVA ROAD, ROATH, CARDIFF, CF23 5BB	DISCHARGE OF CONDITIONS 2 (FINISHES), 4 (SITE ENCLOSURE), 5 (BIN STORE), 7 (CONSERVATION ROOF LIGHTS) , 8 (SOUND INSULATION) AND 9 (CYCLE PARKING) OF 17/01802/MNR	19/07/2021	Full Discharge of Condition	Discharge of Conditions
PLASNEWYDD								
21/01131/MNR	28/05/2021	British telecommunication PLC	FUL	FOOTPATH OUTSIDE ST MARTINS CHURCH, ALBANY ROAD, ROATH	REMOVAL OF EXISTING BT PHONE BOX AND INSTALLATION OF REPLACEMENT BT STREET HUB UNIT	19/07/2021	Permission be granted	Other Consent Types
A/21/00048/MNR	28/05/2021	British telecommunication PLC	ADV	FOOTPATH OUTSIDE ST MARTINS CHURCH, ALBANY ROAD, ROATH	TWO DIGITAL LCD DISPLAY SCREEN, ONE ON EACH SIDE OF THE BT STREET HUB UNIT	19/07/2021	Permission be granted	Advertisements

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
21/01749/MNR	15/07/2021	Coombe Gate Properties	NMA	5 WEST GROVE, ROATH, CARDIFF, CF24 3AN	CONSTRUCT GATES TO THE SIDE BOUNDARY - PREVIOUSLY APPROVED UNDER 18/02314/MNR	23/07/2021	Permission be granted	Non Material Amendment
PRNO/21/00010119	19/07/2021	Ventura Developments and Holdings L	DEM	THE ROATH PARK, 170 CITY ROAD, ROATH, CARDIFF, CF24 3JE	DEMOLITION OF FORMER THE ROATH PARK PUBLIC HOUSE	23/07/2021	Permission Required	Other Consent Types
PONTPRENNAU/ST MELLONS								
20/02301/MNR	12/11/2020	Smiths Builders	DOC	PART OF LAND AT BALMAHA, WERN FAWR LANE, OLD ST MELLONS, CARDIFF, CF3 5XA	DISCHARGE OF CONDITIONS 6 (SITE ENCLOSURE), 7 (EXTERNAL FINISHING MATERIALS), 15 (LANDSCAPING) AND 16 (DRAINAGE) OF 19/03134/MNR	19/07/2021	Full Discharge of Condition	Discharge of Conditions
21/01360/MNR	03/06/2021	S & G Smith T/A Smiths Builders	FUL	PART OF LAND AT BALMAHA, WERN FAWR LANE, OLD ST MELLONS, CARDIFF, CF3 5XA	PROPOSED SINGLE GARAGE AND CYCLE STORE AT LAND ADJACENT TO BALMAHA	20/07/2021	Planning Permission be refused	Other Consent Types
RADYR								
21/00972/DCH	22/04/2021	Waits	HSE	8 PENTWYN, RADYR, CARDIFF, CF15 8RE	SINGLE STOREY REAR EXTENSION, FRONT EXTENSION TO EXISTING GARAGE AND FIRST FLOOR SIDE EXTENSION	20/07/2021	Planning Permission be refused	Householder
RHIWBINA								
21/01437/DCH	09/06/2021	Basso	CLD	10 CLAS TY'N-Y-CAE, RHIWBINA, CARDIFF, CF14 6DA	DEMOLITION OF EXISTING REAR EXTENSION AND CONSTRUCTION OF NEW REAR SINGLE STOREY EXTENSION	19/07/2021	Permission be granted	Other Consent Types

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
21/01069/DCH	28/04/2021	ISAACS	HSE	67 HEOL NANT CASTAN, RHIWBINA, CARDIFF, CF14 6RQ	SINGLE STOREY REAR EXTENSION	19/07/2021	Permission be granted	Householder
21/01166/MNR	07/06/2021	South Wales Fire and Rescue Service	FUL	WHITCHURCH FIRE STATION, HEOL-Y-NANT, RHIWBINA, CARDIFF, CF14 6BS	DEMOLITION OF REDUNDANT URBAN SEARCH AND RESCUE (USAR) BUILDING AND TRAINING TOWER AND CONSTRUCTION OF NEW BUILDING AND TRAINING TOWER AND ASSOCIATED WORKS	23/07/2021	Permission be granted	Minor - Other Principal Uses
21/00713/DCH	22/03/2021	Sheppard	LBC	8 LON ISA, RHIWBINA, CARDIFF, CF14 6ED	SINGLE-STOREY REAR EXTENSION, REPLACEMENT OF NON-ORIGINAL DOORS AND WINDOWS AND INTERNAL ALTERATIONS	23/07/2021	Permission be granted	Listed Buildings
21/00712/DCH	23/03/2021	Sheppard	HSE	8 LON ISA, RHIWBINA, CARDIFF, CF14 6ED	SINGLE-STOREY REAR EXTENSION AND REPLACEMENT OF NON-ORIGINAL DOORS AND WINDOWS	23/07/2021	Permission be granted	Householder
RIVERSIDE								
21/01134/MNR	28/05/2021	British telecommunication PLC	FUL	FOOTPATH OPPOSITE MILLENNIUM VIEW, FITZHAMON EMBANKMENT, RIVERSIDE	REMOVAL OF EXISTING BT PHONE BOX AND INSTALLATION OF REPLACEMENT BT STREET HUB UNIT	23/07/2021	Permission be granted	Other Consent Types
A/21/00050/MNR	28/05/2021	British telecommunication PLC	ADV	FOOTPATH OPPOSITE MILLENNIUM VIEW, FITZHAMON EMBANKMENT, RIVERSIDE	TWO DIGITAL LCD DISPLAY SCREEN, ONE ON EACH SIDE OF THE BT STREET HUB UNIT	19/07/2021	Permission be granted	Advertisements

RUMNEY

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
21/01158/DCH	07/05/2021	RENWICK	HSE	7 GREENWAY ROAD, RUMNEY, CARDIFF, CF3 3HJ	PART SINGLE PART TWO STOREY SIDE AND REAR EXTENSIONS	19/07/2021	Permission be granted	Householder
21/00126/MJR	22/01/2021	Wates Residential and Cardiff Council	NMA	EASTERN HIGH SCHOOL, NEWPORT ROAD, RUMNEY, CARDIFF, CF3 3XG	AMENDMENT TO REWORD CONDITION 2 TO ALLOW SUBSTITUTION OF REVISED PLANS - PREVIOUSLY APPROVED UNDER 18/02519/MJR	23/07/2021	Permission be granted	General Regulations
SPLOTT								
21/01285/MNR	24/06/2021	JONES	NMA	2 SKELMUIR ROAD, TREMORFA, CARDIFF, CF24 2PS	TO COMBINE TWO DWELLINGS INTO ONE DWELLING AND RETAIN FRONT WINDOW AND DOOR	23/07/2021	Planning Permission be refused	Non Material Amendment
TROWBRIDGE								
21/01453/MJR	21/06/2021	Cardiff Council	NMA	EASTERN HIGH, EASTERN COMMUNITY CAMPUS, TROWBRIDGE ROAD, TROWBRIDGE, CARDIFF, CF3 1XZ	TO EXTEND THE OPERATION OF THE FLOODLIGHTS FOR THE MUGA'S FROM 8PM TO 10PM - PREVIOUSLY APPROVED UNDER CONDITION 15 OF 15/02513/MJR	21/07/2021	Permission be granted	General Regulations
WHITCHURCH/TONGWYNLAIS								
21/00579/MNR	10/03/2021	VUR Village Trading No. Ltd (Village')	FUL	THE VILLAGE HOTEL & LEISURE, 29 PENDWYALLT ROAD, WHITCHURCH, CARDIFF, CF14 7EF	INSTALLATION OF AN OUTDOOR GYMNASIUM AND ASSOCIATED WORKS	21/07/2021	Permission be granted	Other Consent Types
21/01392/DCH	01/06/2021	Bevan	HSE	26 BISHOP'S ROAD, WHITCHURCH, CARDIFF, CF14 1LZ	GROUND FLOOR REAR AND SIDE EXTENSION	21/07/2021	Permission be granted	Householder

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21/01247/DCH	20/05/2021	Stephens	HSE	39 WINGFIELD ROAD, WHITCHURCH, CARDIFF, CF14 1NJ	REAR GROUND FLOOR AND FIRST FLOOR EXTENSIONS, SINGLE STOREY SIDE EXTENSION, AND FRONT PORCH AND FIRST FLOOR EXTENSIONS	19/07/2021	Planning Permission be refused	Householder
21/01261/DCH	21/05/2021	Moore	HSE	30 WESTBOURNE ROAD, WHITCHURCH, CARDIFF, CF14 2BS	DEMOLITION OF EXISTING STORE IN REAR GARDEN AND CONSTRUCTION OF SINGLE STOREY REAR EXTENSION AND DEMOLITION OF EXISTING PORCH AND CONSTRUCTION OF SINGLE STOREY EXTENSION TO FRONT ELEVATION	19/07/2021	Permission be granted	Householder
21/01405/DCH	04/06/2021	Wyn Davies	HSE	154 HEOL GABRIEL, WHITCHURCH, CARDIFF, CF14 1JY	PROPOSED SINGLE STOREY SIDE AND REAR EXTENSIONS	23/07/2021	Permission be granted	Householder

Cardiff Council : Strategic Planning And Environment : Development Control

Applications Decided between 26/07/2021 and 30/07/2021

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
ADAMSDOWN								
21/01423/MNR	04/06/2021	ABDULAZIZ	FUL	37 BROADWAY, ADAMSDOWN, CARDIFF, CF24 1QE	CONVERSION OF COFFEE SHOP AND FLAT INTO 4NO. SELF CONTAINED FLATS WITH REAR DORMER AND FIRST FLOOR REAR EXTENSION AND ASSOCIATED WORKS	26/07/2021	Permission be granted	Minor - Dwellings (C3)
BUTETOWN								
LBC/21/00001/MNR	08/06/2021	DS Holdings (Cardiff Bay) Ltd	LBC	PLATFORM, HEMINGWAY ROAD, ATLANTIC WHARF, CARDIFF, CF10 5LS	PROPOSED GATES AND RAILINGS	26/07/2021	Withdrawn by Applicant	Listed Buildings
TEL/21/00115/T	08/07/2021	Clark Telecom Ltd	TEL	DOCKS CONSERVATIVE CLUB 11 HUNTER STREET, BUTETOWN CF10 5GX	PROPOSED TELECOM UPGRADE EE	26/07/2021	No Response Sent	Other Consent Types
21/01273/DCH	25/05/2021	Reardon Smith	HSE	4 WINDSOR ESPLANADE, CARDIFF BAY, CARDIFF, CF10 5BG	RETENTION OF PANEL FENCE ABOVE EXISTING REAR BOUNDARY WALL	28/07/2021	Permission be granted	Householder
CAERAU								
PRAP/21/00032/MNR	23/06/2021	CK Hutchison Networks (UK) Ltd	PAT	LAND AT HEOL EBWY BETWEEN HEOL TRELAI AND BROADFIELD COURT, CAERAU, CARDIFF	INSTALLATION OF A 15 METRE HIGH MONOPOLE SUPPORTING 6 NO. ANTENNAS AND 2 NO. TRANSMISSION DISHES, 4 NO. EQUIPMENT CABINETS AND DEVELOPMENT WORKS ANCILLARY THERETO	26/07/2021	Permission Required	Other Consent Types
CANTON								

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class:</u>
21/01409/DCH	03/06/2021	Pisani	HSE	32 ALEXANDRA ROAD, CANTON, CARDIFF, CF5 1NU	DEMOLITION OF EXISTING REAR EXTENSION AND ERECTION OF A SINGLE STOREY EXTENSION	26/07/2021	Permission be granted	Householder
21/01260/MNR	11/06/2021	SALMAN	FUL	1A LECKWITH ROAD, CANTON, CARDIFF, CF11 8HJ	CHANGE OF USE FROM A1 TO A3 FOR HOT FOOD SALE OF THE PREMISES	29/07/2021	Planning Permission be refused	Minor - Retail (A1-A3)
21/01436/DCH	17/06/2021	Heaney	HSE	26 KINGSLAND ROAD, CANTON, CARDIFF, CF5 1HU	SINGLE STOREY EXTENSION TO THE SIDE OF THE REAR RETURN	29/07/2021	Permission be granted	Householder
TEL/21/00123/T	20/07/2021	Clark Telecom Ltd	TEL	LECKWITH ROAD, CANTON,CARDIFF	Replacement of 1no. Equipment cabinet. All other associated ancillary equipment thereto as illustrated on the enclosed drawing, including the additional of GPS Node to the existing Streetworks telecommunications pole.	29/07/2021	No Response Sent	Other Consent Types
21/00871/MJR	15/04/2021	Hamaa LTD	DOC	THE FORMER CORPORATION HOTEL, 188 COWBRIDGE ROAD EAST AND 9 LLANDAFF ROAD, CANTON, CARDIFF, CF5 1GW	DISCHARGE OF CONDITIONS 3 (INTERNAL NOISE LEVELS), 6 (PARTY WALL AND FLOOR INSULATION), 12 (FOUL DRAINAGE) AND 14 (LANDSCAPING) OF 19/02810/MJR	30/07/2021	Full Discharge of Condition	Discharge of Conditions
21/00872/MJR	16/04/2021	Hamaa LTD	DOC	THE FORMER CORPORATION HOTEL, 188 COWBRIDGE ROAD EAST AND 9 LLANDAFF ROAD, CANTON, CARDIFF, CF5 1GW	DISCHARGE OF CONDITION 7 (ACOUSTIC REPORT) OF 19/02811/MJR	30/07/2021	Full Discharge of Condition	Discharge of Conditions

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21/00123/MJR	18/01/2021	George Capital (Cardiff) Ltd	FUL	WINDSOR COURT, 109-119 QUEEN STREET, CITY CENTRE, CARDIFF, CF10 2BH	CHANGE OF USE OF UPPER FLOORS OF BUILDING TO APARTHOTEL AND ADDITION OF TWO NEW STOREYS TO PROVIDE ADDITIONAL FLOORSPACE	30/07/2021	Permission be granted	Major - Other Principal Uses
21/00644/MNR	16/03/2021	Winter	FUL	82 COBURN STREET, CATHAYS, CARDIFF, CF24 4BT	SINGLE STOREY REAR EXTENSION, DEMOLITION AND REBUILD OF EXISTING FIRST FLOOR EXTENSION, LOFT CONVERSION AND CONSTRUCTION OF REAR DORMER. CHANGE OF USE C3 TO C4 HOUSE IN MULTIPLE OCCUPATION	30/07/2021	Planning Permission be refused	Minor - Dwellings (C3)
TEL/21/00119/T	16/07/2021	Clark Telecom Ltd	TEL	STADIUM HOUSE, PARK STREET, CITY CENTRE, CARDIFF, CF10 1NT	PERMITTED DEVELOPMENT EE_74850_	29/07/2021	No Response Sent	Other Consent Types
A/21/00086/MNR	09/06/2021	City of Cardiff Council - Economic Development	ADV	PARK PLACE, CATHAYS PARK	NON-ILLUMINATED, PVC LAMP-POST BANNER SIGNAGE	29/07/2021	Split decision (part app./part ref.)	General Regulations
21/01249/DCH	17/05/2021	Phillips	HSE	86 COSMESTON STREET, CATHAYS, CARDIFF, CF24 4LR	RETENTION OF SINGLE STOREY LEAN-TO AND TWO STOREY REAR EXTENSIONS WITH REAR DORMER ROOF EXTENSION	28/07/2021	Planning Permission be refused	Householder

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21/01555/MJR	21/06/2021	Ropemaker Properties Limited	DOC	LANDORE COURT, 47-53 CHARLES STREET, CITY CENTRE, CARDIFF	DISCHARGE OF CONDITION 24 (SOUND INSULATION) OF 19/02464/MJR	28/07/2021	Full Discharge of Condition	Discharge of Conditions
21/01243/MNR	14/05/2021	LaSalle UK Property Services Ltd	CLU	UNIT A3, 33 ROYAL ARCADE, CITY CENTRE, CARDIFF, CF10 1AE	USE OF BASEMENT OF UNIT A3 AS RETAIL (CLASS A1)	29/07/2021	Permission be granted	Other Consent Types
A/21/00049/MNR	28/05/2021	British telecommunication PLC	ADV	FOOTPATH OUTSIDE MEDALLION HOUSE, CRWYS ROAD, CATHAYS	TWO DIGITAL LCD DISPLAY SCREEN, ONE ON EACH SIDE OF THE BT STREET HUB UNIT	29/07/2021	Permission be granted	Advertisements
21/01132/MNR	28/05/2021	British telecommunication PLC	FUL	FOOTPATH OUTSIDE MEDALLION HOUSE, CRWYS ROAD, CATHAYS	REMOVAL OF EXISTING BT PHONE BOX AND INSTALLATION OF REPLACEMENT BT STREET HUB UNIT	29/07/2021	Permission be granted	Other Consent Types
21/01268/MNR	20/05/2021	YAPP	FUL	38 WYEVERNE ROAD, CATHAYS, CARDIFF, CF24 4BH	CONVERSION FROM HOUSE OF MULTIPLE OCCUPATION TO 4 FLATS WITH REAR GROUND AND FIRST FLOOR EXTENSIONS, HIP TO GABLE ROOF EXTENSION AND REAR DORMER	26/07/2021	Permission be granted	Minor - Dwellings (C3)
20/02187/MJR	27/10/2020	Ropemaker Properties Limited	DOC	LANDORE COURT, 47-53 CHARLES STREET, CITY CENTRE, CARDIFF	DISCHARGE OF CONDITION 29 (HIGHWAY IMPROVEMENT WORKS) OF 19/02464/MJR	28/07/2021	Full Discharge of Condition	Discharge of Conditions

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21/00304/MJR	05/02/2021	Ropemaker Properties Limited	DOC	LANDORE COURT, 47-53 CHARLES STREET, CITY CENTRE, CARDIFF	DISCHARGE OF CONDITION 30 (CONSTRUCTION ENVIRONMENTAL MANAGEMENT PLAN - CEMP) OF 19/02464/MJR	28/07/2021	Full Discharge of Condition	Discharge of Conditions
21/01299/DCH	25/05/2021	Medeiros- Mirra	HSE	32 BRITHDIR STREET, CATHAYS, CARDIFF, CF24 4LG	SINGLE STOREY LEAN-TO SIDE/REAR EXTENSION WITH ASSOCIATED EXTERNAL WORKS	28/07/2021	Permission be granted	Householder
CYNCOED								
21/01376/DCH	28/05/2021	Shwana	HSE	81 LAKE ROAD WEST, ROATH PARK, CARDIFF, CF23 5PH	SINGLE STOREY SIDE EXTENSION AND DORMER ROOF EXTENSION	28/07/2021	Planning Permission be refused	Householder
21/01490/DCH	16/06/2021	Davies	CLD	37 LLANDENNIS ROAD, CYNCOED, CARDIFF, CF23 6EE	HIP TO GABLE ROOF EXTENSION WITH REAR DORMER	26/07/2021	Permission be granted	Other Consent Types
21/01600/DCH	24/06/2021	Davoile	HSE	11 PADARN CLOSE, LAKESIDE, CARDIFF, CF23 6ER	REAR FIRST FLOOR EXTENSION	26/07/2021	Permission be granted	Householder
21/01526/DCH	18/06/2021	PURVIS	HSE	31 GWERN RHUDDI ROAD, CYNCOED, CARDIFF, CF23 6PR	SINGLE STOREY REAR EXTENSION	29/07/2021	Permission be granted	Householder
ELY								
21/01383/DCH	02/06/2021	Paris	HSE	45 COEDRIGLAN DRIVE, ELY, CARDIFF, CF5 4UN	SINGLE STOREY SIDE EXTENSION	26/07/2021	Permission be granted	Householder
FAIRWATER								

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21/01426/DCH	04/06/2021	McAlevey	HSE	64 KIRTON CLOSE, FAIRWATER, CARDIFF, CF5 2NB	DEMOLITION OF EXISTING CONSERVATORY AND CONSTRUCTION OF SINGLE STOREY SIDE EXTENSION AND CONVERSION OF GARAGE INTO HABITABLE ROOM	26/07/2021	Permission be granted	Householder
TEL/21/00120/T	20/07/2021	BEACONCOMMS	TEL	LLANDAFF RESTWAYS CLOSE, FAIRWATER	LICENCE NOTIFICATION TO UPGRADE THR EXISTING TELECOMMUNICATION S	29/07/2021	No Response Sent	Other Consent Types
GABALFA								
TEL/21/00122/T	20/07/2021	Clark Telecom Ltd	TEL	WESTERN AVENUE, CARDIFF.CF14 3AX	Replacement of 1no. Equipment cabinet. All other associated ancillary equipment thereto as illustrated on the enclosed drawing, including the additional of GPS Node to the existing Streetworks telecommunications pole.	29/07/2021	No Response Sent	Other Consent Types
TEL/21/00124/T	20/07/2021	Clark Telecom Ltd	TEL	WESTERN AVENUE, MYNACHDY CF14 3AX	Proposed EE No 1 GPS Unit to be fixed to monopole using universal GPS antenna mount ? Existing EE cabinets on 200mm plinths fixed to root foundation to be removed and replaced with proposed EE 1No Weston cabinet C/W 1No 6620, 1No 6648 BBUs and 3No ERS2260 via adaptor plates	29/07/2021	No Response Sent	Other Consent Types

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GRANGETOWN								
21/00693/DCH	08/04/2021	Patel	HSE	39 CLIVE STREET, GRANGETOWN, CARDIFF, CF11 7HJ	DEMOLITION OF EXISTING REAR LEAN-TO STRUCTURES AND CONSTRUCTION OF SINGLE STOREY WRAP-AROUND SIDE AND REAR EXTENSION. REMOVAL OF EXISTING GARAGE ROOF AND INCREASE HEIGHT OF STRUCTURE	26/07/2021	Permission be granted	Householder
21/01581/DCH	24/06/2021	Pindoria	CLD	66 VIRGIL STREET, LECKWITH, CARDIFF, CF11 8TF	SINGLE STOREY REAR EXTENSION	26/07/2021	Permission be granted	Other Consent Types
TEL/21/00125/T	22/07/2021	Dot Surveying Ltd	TEL	STREET RECORD, PENARTH ROAD, BUTETOWN	PROPOSED TELECOMMUNICATION S INSTALLATION: PROPOSED SLIME-LINE PHASE 8 MONOPOLE C/W WRAPAROUND CABINET AT BASE, 3NO ADDITIONAL ANCILLARY EQUIPMENT CABINETS AND ASSOCIATED ANCILLARY WORKS	30/07/2021	Response Sent	Other Consent Types
HEATH								
21/01413/DCH	03/06/2021	Clement	HSE	19 MAVIS GROVE, RHIWBINA, CARDIFF, CF14 4SA	SINGLE STOREY REAR EXTENSION	26/07/2021	Permission be granted	Householder

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21/01377/DCH	01/06/2021	Davies	HSE	12 ST AIDAN CRESCENT, HEATH, CARDIFF, CF14 4AU	REMOVAL OF EXISTING EXTENSION AND CONSTRUCTION OF SINGLE STOREY ORANGERY EXTENSION TO REAR	29/07/2021	Permission be granted	Householder

LISVANE

21/01138/DCH	05/05/2021	Thomas	HSE	75 MILL ROAD, LISVANE, CARDIFF, CF14 0UG	DEMOLITION OF EXISTING CARPORT AND GARAGE AND CONSTRUCTION OF SINGLE STOREY FRONT/SIDE EXTENSION	29/07/2021	Permission be granted	Householder
21/01656/MJR	02/07/2021	Jehu Group	DOC	MOOR LYNCH, RUDRY ROAD, LISVANE, CARDIFF, CF14 0SN	DISCHARGE OF CONDITION 16 (TOPSOIL) OF 18/01439/MJR	28/07/2021	Full Discharge of Condition	Discharge of Conditions
21/00664/MNR	19/03/2021	Mr Peter Hoban Woods	NMA	LAND ADJACENT TO THE FARTHINGS, LISVANE ROAD, LISVANE, CARDIFF	EXCHANGE CLADDING FOR GLASS BENEATH THE GABLE AND ABOVE THE LIVING ROOM WINDOWS IN THE FRONT ELEVATION AND PILLARS BE MOVED TO EDGE OF PROJECTING GABLE - PREVIOUSLY APPROVED UNDER 20/00757/MNR	29/07/2021	Permission be granted	Non Material Amendment
21/01590/MJR	24/06/2021	Carter Lauren Construction Ltd	DOC	PLOT 1, TY DRAW ROAD, CARDIFF	DISCHARGE OF CONDITION 3 (MATERIALS) OF 20/01863/MJR	29/07/2021	Full Discharge of Condition	Discharge of Conditions

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21/01610/MJR	28/06/2021	Carter Lauren Construction Ltd	DOC	PLOT 1, TY DRAW ROAD, CARDIFF	DISCHARGE OF CONDITIONS 18 (CYCLE PARKING) AND 19 (ELECTRIC VEHICLE CHARGING POINTS) OF 20/01863/MJR	29/07/2021	Full Discharge of Condition	Discharge of Conditions
21/01420/MJR	04/06/2021	Carter Lauren Construction Ltd	DOC	PLOT 1, TY DRAW ROAD, CARDIFF	DISCHARGE OF CONDITION 7 (FOUL DRAINAGE) OF 20/01863/MJR	29/07/2021	Full Discharge of Condition	Discharge of Conditions
21/01433/DCH	07/06/2021	Matthews	HSE	9 CORNFLOWER CLOSE, LISVANE, CARDIFF, CF14 0BD	SINGLE STOREY EXTENSION TO SIDE AND REAR	26/07/2021	Permission be granted	Householder
LLANDAFF								
21/00803/DCH	30/03/2021	Hickinbottom	LBC	ST. PEBLIG, 1 THE CATHEDRAL GREEN, LLANDAFF, CARDIFF, CF5 2EB	RE-OPENING OF FORMER BASEMENT WINDOW AND LIGHTWELL AT FRONT OF HOUSE	26/07/2021	Permission be granted	Listed Buildings
21/00605/DCH	11/03/2021	Hickinbottom	DOC	ST. PEBLIG, 1 THE CATHEDRAL GREEN, LLANDAFF, CARDIFF, CF5 2EB	DISCHARGE OF CONDITIONS 4 (METHODOLOGY AND SPECIFICATION), 5 (EXTERNAL FINISHING MATERIALS), 6 (LINTELS AND WALLS/CEILINGS), 7 (RENDER/MORTAR MIX), 9 SECTION ROOF DETAILS) AND 10 (DOOR/WINDOW DETAILS) OF 19/03291/DCH	28/07/2021	Full Discharge of Condition	Discharge of Conditions
21/00926/DCH	16/04/2021	Rees	HSE	10 CHAPEL STREET, LLANDAFF, CARDIFF, CF5 2EA	HIPPED ROOF EXTENSION TO REAR ANNEXE AND GROUND FLOOR GLAZED EXTENSION	28/07/2021	Permission be granted	Householder

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21/01013/MNR	22/04/2021	Coffi Lab	FUL	21 HIGH STREET, LLANDAFF, CARDIFF, CF5 2DY	NEW SHOP FRONT ALTERATIONS	28/07/2021	Permission be granted	Minor - Retail (A1-A3)
21/00639/DCH	12/03/2021	martin	HSE	REDCOT, 21 LLANTRISANT ROAD, LLANDAFF, CARDIFF, CF5 2PU	CONSTRUCTION OF POOL ROOM AT REAR OF GARDEN	29/07/2021	Permission be granted	Householder
21/01199/DCH	13/05/2021	TURNER	HSE	43 CARDIFF ROAD, LLANDAFF, CARDIFF, CF5 2DP	CONSTRUCTION OF GARAGE AND STORE ROOM	29/07/2021	Planning Permission be refused	Householder
LLANRUMNEY								
21/01225/MNR	11/06/2021	Csaszar	FUL	LAND AT 61 LAUREATE CLOSE, LLANRUMNEY, CARDIFF, CF3 5DG	CONSTRUCTION OF 2NO. DWELLINGS	28/07/2021	Planning Permission be refused	Minor - Dwellings (C3)
21/01452/DCH	16/06/2021	Kuzba	HSE	6 BALL LANE, LLANRUMNEY, CARDIFF, CF3 4JS	FRONT PORCH EXTENSION	29/07/2021	Permission be granted	Householder
PENTYRCH								
21/01114/DCH	04/05/2021	LANCASTLE	HSE	16 PENMAES, PENTYRCH, CARDIFF, CF15 9QS	SINGLE SIDE AND REAR EXTENSION	29/07/2021	Permission be granted	Householder
PENYLAN								
21/01406/MJR	03/06/2021	W. Wing Yip (London) Ltd	NMA	507 NEWPORT ROAD, PENYLAN, CARDIFF, CF23 9AD	REPOSITIONING OF ENTRANCE DOOR AND ADDITION OF EXTERNAL FINS AROUND THE ENTRANCE AND PICK UP WINDOW (SOUTH FACING) - PREVIOUSLY APPROVED UNDER 18/02910/MJR	29/07/2021	Permission be granted	Non Material Amendment
A/21/00056/MNR	18/05/2021	Symbro Group Limited	ADV	UNIT 4, DRAGON RETAIL PARK, NEWPORT ROAD, PENYLAN, CARDIFF, CF23 9AD	NEW SIGNAGE	29/07/2021	Permission be granted	Advertisements

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21/01366/DCH	07/06/2021	O'Brien	NMH	34 SANDRINGHAM ROAD, ROATH, CARDIFF, CF23 5BJ	TO CHANGE THE CONSTRUCTION OF THE WALLS OF THE GARAGE AND WORKSHOP FROM BRICK TO RENDERED BLOCK - PREVIOUSLY APPROVED UNDER 20/01873/DCH	28/07/2021	Permission be granted	Non Material Householder
21/01584/DCH	28/06/2021	Epton	CLD	28 DORCHESTER AVENUE, PENYLAN, CARDIFF, CF23 9BR	REAR DORMER ROOF EXTENSION	26/07/2021	Permission be granted	Other Consent Types
PLASNEWYDD								
21/00336/MNR	12/02/2021	Norton	FUL	KINGS MONKTON SCHOOL, WEST GROVE, ROATH, CARDIFF, CF24 3XL	INSTALLATION OF A FIRST FLOOR EXTENSION TO 2NO. EXISTING TEMPORARY PORTAKABIN LTD BUILDINGS TO BE USED AS ADDITIONAL OFFICES	28/07/2021	Planning Permission be refused	Minor - Offices (B1(a))
21/01179/MNR	13/05/2021	Harris	FUL	LAND AT 5 CLAUDE ROAD, ROATH, CARDIFF, CF24 3PZ	CONSTRUCTION OF 3 NO. 1 BED APARTMENTS	28/07/2021	Planning Permission be refused	Minor - Dwellings (C3)
PONTPRENNAU/ST MELLONS								
21/01159/DCH	22/06/2021	Smith	HSE	7 HEOL BENNETT, OLD ST MELLONS, CARDIFF, CF3 6AF	SINGLE STOREY REAR EXTENSION	29/07/2021	Permission be granted	Householder
TEL/21/00117/T	18/07/2021	WHP Telecoms Ltd	TEL	WILLOWBROOK DRIVE, ST MELLONS	Proposed 5G Telecommunications Installation for H3G UK	29/07/2021	No Response Sent	Other Consent Types

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21/01509/MJR	17/06/2021	Persimmon Homes (East Wales)	DOC	PHASE 5, LAND EAST OF CHURCH ROAD AND NORTH AND SOUTH OF, BRIDGE ROAD, OLD ST MELLONS, CARDIFF	DISCHARGE OF CONDITIONS 11 (PEDESTRIAN LINKS) AND 15 (REVISED FOOTPATH) OF 19/03238/MJR	26/07/2021	Full Discharge of Condition	Discharge of Conditions

RADYR

21/00180/DCH	28/01/2021	RAYNER	HSE	PENDRE, 19 WINDSOR ROAD, RADYR, CARDIFF, CF15 8BQ	DEMOLISH EXISTING CONSERVATORY. REMODELLING OF HOUSE BY CONSTRUCTION OF PART SINGLE / PART 2 STOREY REAR EXTENSION WITH FIRST FLOOR ROOF TERRACE TO REAR, FIRST FLOOR EXTENSION ABOVE GARAGE AND NEW 2ND FLOOR EXTENSION	28/07/2021	Permission be granted	Householder
21/01386/DCH	01/06/2021	Birkinshaw	HSE	1 NICHOLAS COURT, RADYR, CARDIFF, CF15 8DT	TWO STOREY REAR EXTENSION IN PLACE OF DEMOLISHED CONSERVATORY	27/07/2021	Permission be granted	Householder
21/01051/DCH	26/04/2021	Taylor	HSE	Y WERN, MAIN ROAD, MORGANSTOWN, CARDIFF, CF15 8LJ	CONSTRUCTION OF RETAINING WALL TO FORM OFF-STREET PARKING PROVISIONS	28/07/2021	Planning Permission be refused	Householder

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21/00236/MJR	29/01/2021	Keolis Amey	LBC	LAND EITHER SIDE OF RADYR TO PONTYPRIDD RAILWAY LINE AT GELYNIS FARM, TY-NANT ROAD, MORGANSTOWN, CARDIFF, CF15 8LB	NEW VEHICULAR AND PEDESTRIAN BRIDGE OVER THE RADYR - PONTYPRIDD RAILWAY LINE AND ASSOCIATED INFRASTRUCTURE AND REMOVAL OF PART OF A RUINED FARM BUILDING WHICH LIES WITHIN THE CURTILAGE OF THE GRADE II* LISTED GELYNIS FARMHOUSE	30/07/2021	Permission be granted	Listed Buildings
21/00235/MJR	03/02/2021	Keolis Amey	FUL	LAND EITHER SIDE OF RADYR TO PONTYPRIDD RAILWAY LINE AT GELYNIS FARM, TY-NANT ROAD, MORGANSTOWN, CARDIFF, CF15 8LB	NEW VEHICULAR AND PEDESTRIAN BRIDGE OVER THE RADYR - PONTYPRIDD RAILWAY LINE AND ASSOCIATED INFRASTRUCTURE AND REMOVAL OF PART OF A RUINED FARM BUILDING	30/07/2021	Permission be granted	Other Consent Types
RHIWBINA								
21/01585/DCH	28/06/2021	Grimwards	CLD	19 PORTHAMAL ROAD, RHIWBINA, CARDIFF, CF14 6AQ	REAR DORMER ROOF EXTENSION	26/07/2021	Permission be granted	Other Consent Types
21/01611/DCH	29/06/2021	CARLSON	CLD	62 HEOL UCHAF, RHIWBINA, CARDIFF, CF14 6SQ	HIP TO GABLE EXTENSION WITH REAR DORMER	26/07/2021	Permission be granted	Other Consent Types
21/00847/DCH	09/04/2021	Randall	HSE	73 HEOL BRIWNANT, RHIWBINA, CARDIFF, CF14 6QH	GROUND FLOOR REAR/SIDE EXTENSION	29/07/2021	Permission be granted	Householder

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21/01379/DCH	01/06/2021	Bunting	HSE	4 CLAS TY'N-Y-CAE, RHIWBINA, CARDIFF, CF14 6DA	DEMOLITION OF EXISTING GARAGE/STORE ROOM AND CONSTRUCTION OF SINGLE STOREY SIDE AND REAR EXTENSION	29/07/2021	Permission be granted	Householder
RIVERSIDE								
21/01493/DCH	15/06/2021	James	CLD	9 TURBERVILLE PLACE, PONTCANNA, CARDIFF, CF11 9NX	SINGLE STOREY REAR EXTENSION AND REAR DORMER ROOF CONVERSION	29/07/2021	Permission be granted	Other Consent Types
TROWBRIDGE								
21/01232/DCH	19/05/2021	Walsh	HSE	37 BRYTHON DRIVE, ST MELLONS, CARDIFF, CF3 0LR	SINGLE STOREY REAR EXTENSION	26/07/2021	Permission be granted	Householder
WHITCHURCH/TONGWYNLAIS								
21/00867/DCH	12/04/2021	Lowe	HSE	24 HEOL-Y-WAUN, WHITCHURCH, CARDIFF, CF14 1LB	TWO STOREY SIDE EXTENSION, DEMOLITION OF EXISTING LEAN-TO EXTENSION AND REAR OUTBUILDING AND CONSTRUCTION OF DETACHED GARAGE AND EXTENSION TO EXISTING DROP KERB/CROSSOVER	26/07/2021	Permission be granted	Householder
21/01156/DCH	03/06/2021	Hooper	HSE	19 GRANT'S CLOSE, TONGWYNLAIS, CARDIFF, CF15 7NG	SINGLE STOREY REAR EXTENSION WITH CONVERSION OF GARAGE TO UTILITY ROOM AND STORE	29/07/2021	Permission be granted	Householder

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21/01045/DCH	26/04/2021	Sulley	HSE	4 ST DAVID'S ROAD, WHITCHURCH, CARDIFF, CF14 1DS	DEMOLITION OF EXISTING SINGLE STOREY REAR EXTENSION AND CONSTRUCTION OF SINGLE AND DOUBLE STOREY SIDE AND REAR EXTENSION	29/07/2021	Permission be granted	Householder
20/01814/MNR	16/09/2020	Castle Park Developments Ltd	DOC	71 PANTMAWR ROAD, WHITCHURCH, CARDIFF, CF14 7TB	DISCHARGE OF CONDITION 12 (DRAINAGE) OF 19/02061/MNR	29/07/2021	Full Discharge of Condition	Discharge of Conditions

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